

DARDENNE



PRAIRIE

**CITY OF DARDENNE PRAIRIE
2032 HANLEY ROAD
DARDENNE PRAIRIE, MO 63368**

**PLANNING AND ZONING COMMISSION AGENDA
WORK SESSION
January 10, 2024
6:00 p.m.**

CALL MEETING TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL Alderman Wandling
Chairman Etzkorn
Commission members:
Bailey
Detweiler
Fry
Musler
Northcutt
Ogle
Pollard
Rowley
Stankovich
Wooldridge

ITEMS FOR DISCUSSION

1. Amended P.U.D. Final Plan Request – Amended Final Plan for the approved “Prairie Encore” Mixed-use Development on approximately 17.25 acres of the land commonly known as 1575 Bryan Road and more particularly described in the P.U.D. Request – Final Plan application received by the City January 2, 2024, on file with the City Clerk from Applicant Engenuity, LLC.

ADJOURNMENT



CITY OF DARDENNE PRAIRIE
2032 HANLEY ROAD
DARDENNE PRAIRIE, MO 63368

PLANNING AND ZONING COMMISSION AGENDA
January 10, 2024
7:00 p.m.

CALL MEETING TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL Alderman Wandling
Chairman Etzkorn
Commission members:
Bailey
Detweiler
Fry
Musler
Northcutt
Ogle
Pollard
Rowley
Stankovich
Wooldridge

PUBLIC COMMENT

PUBLIC HEARING

1. Amended CUP Request – Amend the current CUP to reference the correct tenant spaces for Cloud 9 Massage / A Gathering Place on land zoned “C2” General Commercial and commonly known as 1646, 1648 and 1650 Bryan Road and more particularly described in the CUP Request received by the City on December 4, 2023, on file with the City Clerk from Applicant.

NEW BUSINESS

1. Amended CUP Request – Amend the current CUP to reference the correct tenant spaces for Cloud 9 Massage / A Gathering Place on land zoned “C2” General Commercial and commonly known as 1646, 1648 and 1650 Bryan Road and more particularly described in the CUP Request received by the City on December 4, 2023, on file with the City Clerk from Applicant.

2. Amended P.U.D. Final Plan Request – Amended Final Plan for the approved “Prairie Encore” Mixed-use Development on approximately 17.25 acres of the land commonly known as 1575 Bryan Road and more particularly described in the P.U.D. Request – Final Plan application received by the City January 2, 2024, on file with the City Clerk from Applicant Engenuity, LLC.

APPROVAL OF MINUTES

1. Approval of 12-13-23 Minutes
2. Approval of 12-13-23 Work Session Minutes

COMMISSION COMMUNICATIONS

ADJOURNMENT

MEMO

TO: Dardenne Prairie Planning and Zoning Commission
FROM: Todd Streiler, Planning & Development Manager
DATE: January 2, 2024
SUBJECT: Planning and Zoning Commission Meeting Scheduled for January 10, 2024

Items for consideration at this meeting include:

PUBLIC HEARING:

1. **Amended CUP Request – Amend the current CUP to reference the correct tenant spaces for Cloud 9 Massage / A Gathering Place on land zoned “C2” General Commercial and commonly known as 1646, 1648 and 1650 Bryan Road and more particularly described in the CUP Request received by the City on December 4, 2023, on file with the City Clerk from Applicant.**

On December 21st, 2022, Ordinance #2225 was passed providing for a Conditional Use Permit (CUP) for Suites 100-101 at 1676 Bryan Road.

On December 4, 2023, the applicant submitted a CUP Application to amend the CUP passed via Ordinance #2225 which was reviewed by the City’s Planning and Development Manager and review memo sent to the petitioner on December 15, 2023, which is enclosed.

The week of December 19th, the public hearing was publicized, the site posted, and mailers sent to property owners within 185’ to make official notice for the Public Hearing scheduled before the Planning Commission on January 10th, 2024, and a Public Hearing scheduled before the Board of Aldermen on January 17, 2024.

NEW ITEMS:

1. **Amended CUP Request – Amend the current CUP to reference the correct tenant spaces for Cloud 9 Massage on land zoned “C2” General Commercial and commonly known as 1646, 1648 and 1650 Bryan Road and more particularly described in the CUP Request received by the City on December 4, 2023, on file with the City Clerk from Applicant.**

From Above Public Hearing.

2. **Amended P.U.D. Final Plan Request – Amended Final Plan for the approved “Prairie Encore” Mixed-use Development on approximately 17.25 acres of the land commonly known as 15765 Bryan Road and more particularly described in the P.U.D. Request – Final Plan application received by the City January 2, 2024, on file with the City Clerk from Applicant Engenuity, LLC.**

On December 20st, 2023, Ordinance #2279 was passed providing for an Amended Planned Units Development (PUD) Area Plan for “Prairie Encore.”

On January 3, 2023, the amended Final Plan was submitted and reviewed by Staff in accordance with Section 405.330 and 405.300. The Planning & Development Manager prepared and sent a memo dated January 4, 2024, summarizing the findings of the review, see enclosed.

EXISTING ITEMS: None.

INFORMATION ONLY: None.

Enclosures

cc: Mayor John Gotway and Board of Aldermen
Kim Clark, City Clerk
John Young, City Attorney

DARDENNE



PRAIRIE

www.DardennePrairie.org

Planning & Development Manager

Phone 636.755.5314

Fax:636.898.0923

Tstreiler@DardennePrairie.org

City Hall

2032 Hanley Road

Dardenne Prairie, MO 63368

Phone 636.561.1718

Fax 636.625.0077

December 15, 2023

Stephanie Hofmeister, Owner
Cloud 9 Massage
1676 Bryan Road, suite 100
O'Fallon, MO. 63368

Subject: Amended CUP Request – 1st Review
Dardenne Prairie Plaza, 1646, 1658 and 1650 Bryan Road
Dardenne Prairie Project No. 972290

Dear Mr. Hofmeister:

The subject conditional use permit application received by the City on December 4, 2023, has been reviewed for completeness and compliance with the applicable regulations. No additional information or changes are needed.

The subject conditional use permit application will be considered by the Planning and Zoning Commission at their meeting scheduled to begin at 7:00 p.m. on January 10, 2024, and by the Board of Aldermen at their meeting that is scheduled to begin 7:00 p.m. on January 17, 2024. Both meetings are planned to take place at the City Hall at 2032 Hanley Road. All plans or other materials or visual aids either submitted to the Commission and/or Board of Aldermen or presented at their meeting shall become the property of the City and part of the permanent record of any approval.

If you have any questions, please feel free to contact me.

Respectfully,

A handwritten signature in black ink that reads "Todd Streiler". The signature is written in a cursive, flowing style.

Todd Streiler, AICP, LEED AP
Planning & Development Manager

cc: James Knowles, City Administrator
Tom Weiss, City Engineer
Kim Clark, City Clerk
Planning and Zoning Commission

DARDENNE



City Hall
2032 Hanley Road
Dardenne Prairie, MO 63368
Phone 636.561.1718
Fax 636.625.0077

CONDITIONAL USE PERMIT APPLICATION

CITY OF DARDENNE PRAIRIE, MISSOURI

www.DardennePrairie.org

APPLICANT:

Cloud Nine Massage

Company Name

A Gathering Place Massage School

Stephanie Hofmeister Owner

Printed Name, Title

1676 Bryan Rd Suite 100

Street Address

O'Fallon Mo 63368

City/State/Zip Code

314-278-9055

Telephone

Facsimile

STREET ADDRESS OF CONDITIONAL USE: 1676 - 1678 - 1650 Bryan Rd.

OWNER (attach additional):

Stephanie Hofmeister

Printed Name

Printed Name

1676 Bryan Rd Suite 100

Street Address

O'Fallon Mo 63368

City/State/Zip Code

314-278-9055

Telephone

Facsimile

Contract Purchaser/Developer:

Corporate Brg

Company Name

2500 South Old Hwy 94

Printed Name, Title

St Charles, Mo 63303

Street Address

City/State/Zip Code

636-946-0761

Telephone

Facsimile

LEGAL DESCRIPTION OF PROPERTY (other than address) Retail

EXISTING ZONING: C2 PROPOSED ZONING: C2

PROPOSED USE: Health Wellness, Massage Therapy

CONDITIONAL USE APPLICATION FEE SUBMITTED: _____

SITE PLAN REVIEW FEE SUBMITTED: _____

CONDITIONAL USE PERMIT APPLICATION

- _____ Two (2) copies of a plot survey/sketch/site plan drawn to scale shall be prepared on sheet(s) not to exceed twenty-four (24) inches by thirty-six (36) inches and shall show the lot or lots included in the application; show all structures; give appropriate dimensions, utility easements and other information listed on this application.
Additional copies for distribution to Planning and Zoning Commission and Board of Aldermen members will be requested upon review by the City Engineer..
- _____ Electronic and paper copy of legal description of the property are provided. Electronic files may be sent via email to the City Engineer (engineer@dardenneprairie.org).
- _____ Electronic and paper copy list of property owners with property within 185 feet of the subject property and their mailing addresses. Electronic files may be sent via email to the City Engineer (engineer@dardenneprairie.org).
- _____ The applicant is required to appear before the Planning and Zoning Commission and Board of Aldermen.

Please Note:

Prior to approval of a Building Permit, a Construction Site Plan must be reviewed and approved by the City Engineer. In addition, the appropriate Fire Protection District and the St. Charles County Ambulance District will need to review and approve the development. Any signage to be placed on the subject property requires a separate Sign Permit or Master Sign Plan. Any business occupying the site requires approval of a Business License.

Stephane Hoffmeister
Applicant's Signature

12/4/23
Date

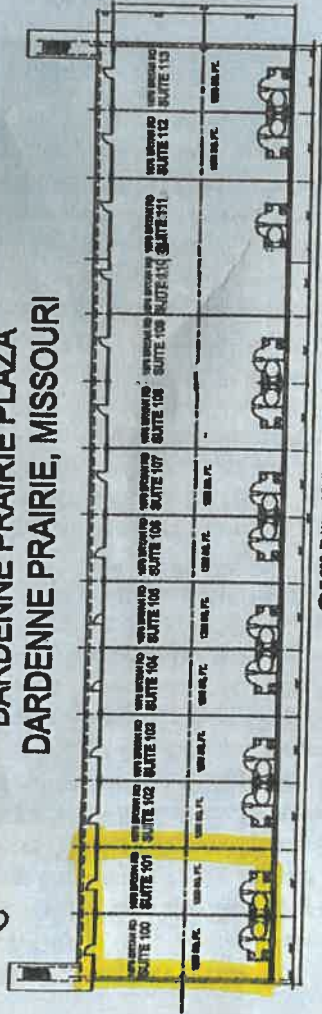
Stephane Hoffmeister
Owner's Signature

12/4/23
Date

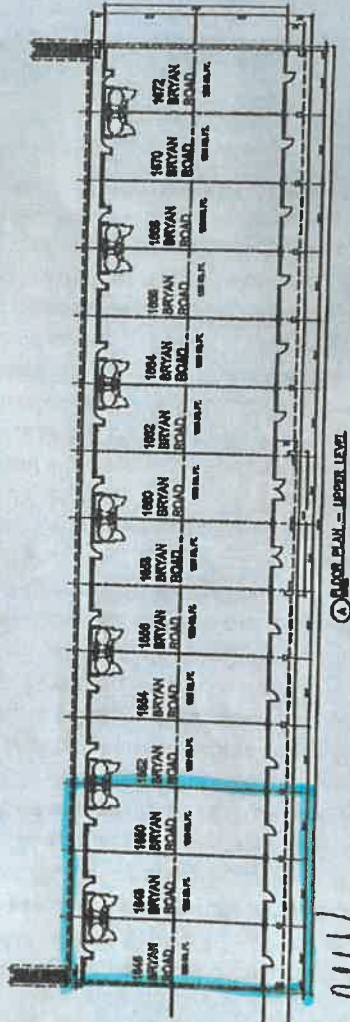
NOTE: By affixing signatures to this application form, the Applicant and Owner hereby verify that: they have reviewed the applicable zoning regulations; they are familiar with the specific requirements relative to this application; and they take full responsibility for this application. The above signatures further indicate that the information provided on this form and on any additional data attached hereto is true, complete, and accurate.

DARDENNE PRAIRIE PLAZA
DARDENNE PRAIRIE, MISSOURI

Old address



① FLOOR PLAN - LOWER LEVEL

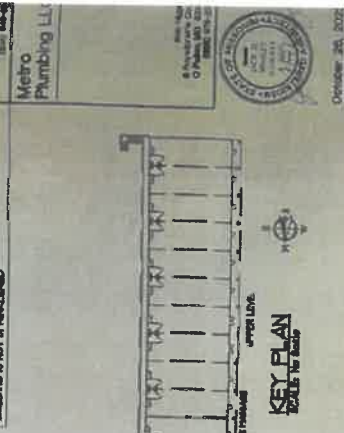


new address

② FLOOR PLAN - UPPER LEVEL

GENERAL NOTES:

1. TYPICAL PARTITION: 1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
2. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.
3. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.
4. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.
5. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.
6. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.
7. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.
8. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.
9. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.
10. PARTITION TYPES: PARTITION TYPES TO BE SHOWN ON ALL ELEVATIONS AND SECTIONS. SEE COMMENTS FOR TYPE AND FINISHES.



KEY PLAN
 SHOWS THE LOCATION OF THIS FLOOR PLAN WITHIN THE OVERALL BUILDING FOOTPRINT.

ROOM FINISH SCHEDULE

NO.	ROOM	FLOOR	BASE	CEILING	WALLS	DOOR	GLASS	HEIGHT	FINISHES
101	RECEPTION	1ST	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
102	OFFICE	1ST	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
103	CONFERENCE	1ST	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
104	TRAINING	1ST	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
105	RESTROOM	1ST	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
106	STORAGE	1ST	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
107	MECHANICAL	1ST	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
108	RECEPTION	2ND	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
109	OFFICE	2ND	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
110	CONFERENCE	2ND	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
111	TRAINING	2ND	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
112	RESTROOM	2ND	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
113	STORAGE	2ND	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.
114	MECHANICAL	2ND	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	1/2" GYP	8'-0"	1/2" GYP BOARD ON 2x4 STUDS @ 16" O.C. MIN. 1/2" GYP BOARD ON BOTH SIDES - SHALL BE 10'-0" TALL.

FLOOR SCHEDULE

NO.	DOOR	TYPE	FINISH	GROUP
101	101-102	SWING	1/2" GYP	101
102	102-103	SWING	1/2" GYP	102
103	103-104	SWING	1/2" GYP	103
104	104-105	SWING	1/2" GYP	104
105	105-106	SWING	1/2" GYP	105
106	106-107	SWING	1/2" GYP	106
107	107-108	SWING	1/2" GYP	107
108	108-109	SWING	1/2" GYP	108
109	109-110	SWING	1/2" GYP	109
110	110-111	SWING	1/2" GYP	110
111	111-112	SWING	1/2" GYP	111
112	112-113	SWING	1/2" GYP	112
113	113-114	SWING	1/2" GYP	113
114	114-115	SWING	1/2" GYP	114
115	115-116	SWING	1/2" GYP	115
116	116-117	SWING	1/2" GYP	116
117	117-118	SWING	1/2" GYP	117
118	118-119	SWING	1/2" GYP	118
119	119-120	SWING	1/2" GYP	119
120	120-121	SWING	1/2" GYP	120
121	121-122	SWING	1/2" GYP	121
122	122-123	SWING	1/2" GYP	122
123	123-124	SWING	1/2" GYP	123
124	124-125	SWING	1/2" GYP	124
125	125-126	SWING	1/2" GYP	125
126	126-127	SWING	1/2" GYP	126
127	127-128	SWING	1/2" GYP	127
128	128-129	SWING	1/2" GYP	128
129	129-130	SWING	1/2" GYP	129
130	130-131	SWING	1/2" GYP	130
131	131-132	SWING	1/2" GYP	131
132	132-133	SWING	1/2" GYP	132
133	133-134	SWING	1/2" GYP	133
134	134-135	SWING	1/2" GYP	134
135	135-136	SWING	1/2" GYP	135
136	136-137	SWING	1/2" GYP	136
137	137-138	SWING	1/2" GYP	137
138	138-139	SWING	1/2" GYP	138
139	139-140	SWING	1/2" GYP	139
140	140-141	SWING	1/2" GYP	140
141	141-142	SWING	1/2" GYP	141
142	142-143	SWING	1/2" GYP	142
143	143-144	SWING	1/2" GYP	143
144	144-145	SWING	1/2" GYP	144
145	145-146	SWING	1/2" GYP	145
146	146-147	SWING	1/2" GYP	146
147	147-148	SWING	1/2" GYP	147
148	148-149	SWING	1/2" GYP	148
149	149-150	SWING	1/2" GYP	149
150	150-151	SWING	1/2" GYP	150
151	151-152	SWING	1/2" GYP	151
152	152-153	SWING	1/2" GYP	152
153	153-154	SWING	1/2" GYP	153
154	154-155	SWING	1/2" GYP	154
155	155-156	SWING	1/2" GYP	155
156	156-157	SWING	1/2" GYP	156
157	157-158	SWING	1/2" GYP	157
158	158-159	SWING	1/2" GYP	158
159	159-160	SWING	1/2" GYP	159
160	160-161	SWING	1/2" GYP	160
161	161-162	SWING	1/2" GYP	161
162	162-163	SWING	1/2" GYP	162
163	163-164	SWING	1/2" GYP	163
164	164-165	SWING	1/2" GYP	164
165	165-166	SWING	1/2" GYP	165
166	166-167	SWING	1/2" GYP	166
167	167-168	SWING	1/2" GYP	167
168	168-169	SWING	1/2" GYP	168
169	169-170	SWING	1/2" GYP	169
170	170-171	SWING	1/2" GYP	170
171	171-172	SWING	1/2" GYP	171
172	172-173	SWING	1/2" GYP	172
173	173-174	SWING	1/2" GYP	173
174	174-175	SWING	1/2" GYP	174
175	175-176	SWING	1/2" GYP	175
176	176-177	SWING	1/2" GYP	176
177	177-178	SWING	1/2" GYP	177
178	178-179	SWING	1/2" GYP	178
179	179-180	SWING	1/2" GYP	179
180	180-181	SWING	1/2" GYP	180
181	181-182	SWING	1/2" GYP	181
182	182-183	SWING	1/2" GYP	182
183	183-184	SWING	1/2" GYP	183
184	184-185	SWING	1/2" GYP	184
185	185-186	SWING	1/2" GYP	185
186	186-187	SWING	1/2" GYP	186
187	187-188	SWING	1/2" GYP	187
188	188-189	SWING	1/2" GYP	188
189	189-190	SWING	1/2" GYP	189
190	190-191	SWING	1/2" GYP	190
191	191-192	SWING	1/2" GYP	191
192	192-193	SWING	1/2" GYP	192
193	193-194	SWING	1/2" GYP	193
194	194-195	SWING	1/2" GYP	194
195	195-196	SWING	1/2" GYP	195
196	196-197	SWING	1/2" GYP	196
197	197-198	SWING	1/2" GYP	197
198	198-199	SWING	1/2" GYP	198
199	199-200	SWING	1/2" GYP	199
200	200-201	SWING	1/2" GYP	200
201	201-202	SWING	1/2" GYP	201
202	202-203	SWING	1/2" GYP	202
203	203-204	SWING	1/2" GYP	203
204	204-205	SWING	1/2" GYP	204
205	205-206	SWING	1/2" GYP	205
206	206-207	SWING	1/2" GYP	206
207	207-208	SWING	1/2" GYP	207
208	208-209	SWING	1/2" GYP	208
209	209-210	SWING	1/2" GYP	209
210	210-211	SWING	1/2" GYP	210
211	211-212	SWING	1/2" GYP	211
212	212-213	SWING	1/2" GYP	212
213	213-214	SWING	1/2" GYP	213
214	214-215	SWING	1/2" GYP	214
215	215-216	SWING	1/2" GYP	215
216	216-217	SWING	1/2" GYP	216
217	217-218	SWING	1/2" GYP	217
218	218-219	SWING	1/2" GYP	218
219	219-220	SWING	1/2" GYP	219
220	220-221	SWING	1/2" GYP	220
221	221-222	SWING	1/2" GYP	221
222	222-223	SWING	1/2" GYP	222
223	223-224	SWING	1/2" GYP	223
224	224-225	SWING	1/2" GYP	224
225	225-226	SWING	1/2" GYP	225
226	226-227	SWING	1/2" GYP	226
227	227-228	SWING	1/2" GYP	227
228	228-229	SWING	1/2" GYP	228
229	229-230	SWING	1/2" GYP	229
230	230-231	SWING	1/2" GYP	230
231	231-232	SWING	1/2" GYP	231
232	232-233	SWING	1/2" GYP	232
233	233-234	SWING	1/2" GYP	233
234	234-235	SWING	1/2" GYP	234
235	235-236	SWING	1/2" GYP	235
236	236-237	SWING	1/2" GYP	236
237	237-238	SWING	1/2" GYP	237
238	238-239	SWING	1/2" GYP	238
239	239-240	SWING	1/2" GYP	239
240	240-241	SWING	1/2" GYP	240
241	241-242	SWING	1/2" GYP	241
242	242-243	SWING	1/2" GYP	242
243	243-244	SWING	1/2" GYP	243
244	244-245	SWING	1/2" GYP	244
245	245-246	SWING	1/2" GYP	245
246	246-247	SWING	1/2" GYP	246
247	247-248	SWING	1/2" GYP	247
248	248-249	SWING	1/2" GYP	248
249	249-250	SWING	1/2" GYP	249
250	250-251	SWING	1/2" GYP	250
251	251-252	SWING	1/2" GYP	251
252	252-253	SWING	1/2" GYP	252
253	253-254	SWING	1/2" GYP	253
254	254-255	SWING	1/2" GYP	254
255	255-256	SWING	1/2" GYP	255
256	256-257	SWING	1/2" GYP	256
257	257-258	SWING	1/2" GYP	257
258	258-259	SWING	1/2" GYP	258
259	259-260	SWING	1/2" GYP	259
260	260-261	SWING	1/2" GYP	260
261	261-262	SWING	1/2" GYP	261
262	262-263	SWING	1/2" GYP	

10/28/2022

Stephanie Hofmeister
Cloud Nine Massage, LLC
2398 Highway K, O'Fallon, MO 63368

City of Dardenne Prairie
City of Dardenne Prairie 2031 Hanley Rd.
Dardenne Prairie, MO 63368

To Dardenne Prairied City Hall Official,

Stephanie Hofmeister
Cloud Nine Massage, LLC

Hello,

My name is Stephanie Ann Hofmeister RN, LMT. I am writing to request a business license from your lovely city. The space I have signed a lease for is at 1676 Bryan Rd Suite 100, Dardenne Prairie, MO 63368. The owner of the building can be reached through Corporate Group Inc – 2500 South Old Hwy 94, Suite 200, St. Charles, MO 63303. Phone: 636-946-0761.

The name of my business is Cloud Nine Massage, LLC. We are currently located at 2398 Highway K, O'Fallon, MO 63368. Phone: 636.354.8868. Website cloudnine-massage.com. I have been in business at this location since 2016. EIN 81-1963409. Missouri Tax ID 23200448. In 2019 we won Best Massage Establishment St. Charles County and in 2022 we won second place for Best Massage Establishment St. Louis A-List Awards. I have built this business from the ground up and I am very proud of what I have created as a woman business owner. I graduated nursing school in 1999 and have moved my passion of health and wellness straight to my community. My passion is helping people heal with holistic massage. You can see my dedication and passion on my website.

I also have a second location located at 3104 Sutton Blvd, Maplewood, MO 63348. This location opened October of 2020.

Both locations are licensed by the Missouri Board of Massage. We recently had an inspection to renew my licenses next year and we passed with good standing with the state of Missouri. It is required by the stated that all therapists are insured and licensed. It is also required by the state

that we hold client records for 3 years which includes health intake forms, therapy notes, and appointment dates. I have a scheduling software in place that captures all required information.

My business is now growing, and we need a bigger space to meet our new needs. Also, my business will now include a massage therapy school which I have also included a business license application for. A Gathering Place Massage Therapy School is currently operating in Maryland Heights, and I will be taking of this location and moving it to St. Charles County.

We have a need for Professional Massage Therapists in the area and there is need for an education center to meet this growing field. A Gathering Place has been a trusted vetted institution with the State of Missouri for 30 years. The St. Charles location will be a new branch of A Gathering Place – EIN Number 88-3695842. A Gathering Place does not sell retail items, so it does not require a Missouri tax ID.

I will now answer your questions:

1: Current address 6044 Westminster Place, St. Louis, MO 63112

Previous address 10738 Larkspur Drive, St. Louis, MO 63123

2: I have included a copy of my passport as proof of age

3: I have owned Cloud Nine Massage since 2016. Prior to that my work history was with Washington University School of Medicine Orthopedic Department as a Clinical Nurse Coordinator starting in 2005.

4: I graduated A Gathering Place Massage School in 2013 – I started my business in 2016 and have since been practicing massage and operating my business as sole owner.

5: I have no criminal record

6: List of Massage Therapists Currently employed

- Stephane Hofmeister 6044 Westminster Place St. Louis, MO. 63112. Massage Therapist License #2012041310 – Registered Nurse License # 155055
- Cloud Nine Massage – O’Fallon Location Missouri Board of Massage License #2016029772
- Stacy Hollrah 766 Estes Park Dr., St. Peters, MO. 63376 LMT# 2002015053
- Kasandra Gregory 308 Universal Dr., St. Peters, MO 63376 LMT# 2020039111
- Edina Kiss 179 Pinto Cir, O’Fallon, MO 63368 LMT# 2019042504
- Amber O’Connor 3203 St. Joan Ln, St. Charles, MO 63301 LMT# 2010041419
- Sara Sobery 5 Carpenter Dr., St. Peters, MO 63376 LMT# 2004026246

- Patricia Speck 12146 Hillcrest Place, Maryland Heights, MO 63043 LMT# 2000175662
- Jennifer Usher 1105 Marathon Dr., Foristell, MO 63348 LMT# 2021046968
- Allison Walter 7230 Anna Ave Apt #23, St. Louis, MO 63143 LMT#2016009954
- Christine Wells 142 Blue Bunting Cir., Moscow Mills, MO 63362 LMT# 20077032853

7: I am happy to provide any other proof or identification you may need.

8: Cloud Nine Massage LLC is owned by me 100% and so is A Gathering Place.

I believe this all the information you requested. Please let me know if there is something else you need. I do hope this is sufficient in granting me both Licenses. My business is well known in the St. Charles community as you can see from our Google reviews and awards. We would love to be able to be apart of Dardenne Prairie.

Thank you for your time!

Sincerely,

Stephanie Hofmeister RN, LMT

Cloud Nine Massage, LL

State of Missouri

Missouri Department of Commerce and Insurance
Division of Professional Registration
Missouri Board of Therapeutic Massage
Massage Therapy Business



VALID THROUGH JANUARY 31, 2023
ORIGINAL CERTIFICATE/LICENSE NO. 2016029772

CLOUD NINE MASSAGE
HOFMEISTER, STEPHANIE
2398 HWY K
O FALLON MO 63368
USA

Chavis Lindsay
EXECUTIVE DIRECTOR

Sarah E. Sedgewick
DIVISION DIRECTOR

ORDINANCE NO. 2225

AN ORDINANCE OF THE CITY OF DARDENNE PRAIRIE, MISSOURI, PROVIDING FOR THE APPROVAL OF A CONDITIONAL USE PERMIT FOR PROPERTY ZONED C-2, GENERAL COMMERCIAL DISTRICT AND LOCATED ON LAND COMMONLY KNOWN AS 1676 BRYAN ROAD, SUITE 100-101

WHEREAS, a Conditional Use Permit Application was submitted to the Board of Aldermen, a copy of which is attached hereto as **Exhibit A** and incorporated by reference herein (the "Application"), by Corporate Group, Inc. (the "Applicant"), to allow certain uses described herein on certain real property within the City of Dardenne Prairie commonly known as 1676 Bryan Road, Suite 100-101 (the "Property"), and owned by GSR Ventures, LLC, (the "Owner"); and

WHEREAS, the property is zoned C-2, General Commercial District; and

WHEREAS, a Massage Establishment (health and wellness provider) is permitted conditional uses within the C-2, General Commercial District under the Municipal Code of the City of Dardenne Prairie, Missouri, § 405.190; and

WHEREAS, the Board of Aldermen of the City of Dardenne Prairie, Missouri, referred the Application to the City's Planning and Zoning Commission; and

WHEREAS, said Planning and Zoning Commission of the City considered the Application and referred it to the Board of Aldermen recommending approval; and

WHEREAS, the Board of Aldermen and the Planning and Zoning Commission held hearings on the proposed conditional uses at which interested persons and residents of the City were given an opportunity to be heard on the proposed conditional uses; and

WHEREAS, the Planning and Zoning Commission and the Board of Aldermen considered the following:

1. The character of the surrounding area;
2. The traffic conditions of the surrounding area;
3. The public utility facilities;
4. The Comprehensive Plan, a copy of which is available in the office of the City Clerk and incorporated by reference herein;
5. The Application;
6. The Municipal Code of the City of Dardenne Prairie, Missouri, a copy of which is available in the office of the City Clerk and incorporated by reference herein;
7. The recommendation of the Planning and Zoning Commission;
8. Testimony presented at the hearing before the Planning and Zoning Commission on

December 15, 2022, recorded audio of which is on file in the office of the City Clerk and incorporated by reference herein; and

9. Testimony presented at the hearing before the Board of Aldermen on December 21, 2022, recorded audio of which is on file in the office of the City Clerk and incorporated by reference herein;

NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF DARDENNE PRAIRIE, MISSOURI, AS FOLLOWS:

SECTION 1. Findings. Based upon the evidence presented to it, and subject to the conditions stated herein, the Board of Aldermen of the City of Dardenne Prairie, Missouri, does hereby find and determine that the use of the Property for the purposes described in Section 2 of this Ordinance:

- a. Complies with all applicable provisions of these regulations, including intensity of use regulations, yard regulations and use limitations;
- b. Will contribute to and promote the welfare or convenience of the public;
- c. Will not cause substantial injury to the value of other property in the neighborhood in which it is to be located;
- d. Will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations;
- e. Complies with the requirements for off-street parking and loading areas;
- f. Provides for adequate utility, drainage and other such necessary facilities;
- g. Provides for access roads or entrance and exit drives designed to prevent traffic hazards and to minimize traffic congestion in public streets and alleys;
- h. Will not adversely affect the character or the traffic conditions of the surrounding area;
- i. Will not adversely affect public utility facilities;
- j. Complies with the Comprehensive Plan of the City and with other matters pertaining to the general welfare of its residents; and
- k. Meets all of the criteria set forth in § 405.475.B of the City Code.

SECTION 2. Conditional Use. The Board of Aldermen of the City of Dardenne Prairie, Missouri, does hereby authorize and permit the requested use of the Property to allow the construction, operation and maintenance of a Massage Establishment (health and wellness provider) on the Property subject to Applicant and Owner's (or their successors in interest) compliance with all conditions set forth in Section 3 of this Ordinance.

SECTION 3. Conditions of Issuance:

1. Applicant and Owner, having to the best of their knowledge provided the City with all information required by the appropriate sections of the Zoning Ordinance pertaining to the C-2, General Commercial District agree that any information inadvertently omitted will be provided upon request, as soon as it may reasonably be obtained.

2. Applicant and Owner (or their successors in interest) agree that all improvements shall be constructed to meet all applicable federal, state and local codes and shall comply with all of the City's applicable ordinances and construction standards.
3. Applicant and Owner (or their successors in interest) agree that the Property shall be used in compliance with all requirements of the Municipal Code of the City of Dardenne Prairie, Missouri.
4. Applicant and Owner (or their successors in interest) agree that prior to beginning operation of the Massage Establishment (health and wellness provider), the appropriate licenses required under the Ordinances of the City of Dardenne Prairie, Missouri, will be obtained.
5. Any violation of a requirement, term, condition or safeguard contained herein shall be considered a violation of Chapter 405 of the Municipal Code, subject to the applicable penalties contained therein and grounds for the Board of Aldermen to take all such actions as may be necessary to terminate and cancel the conditional use permit approved pursuant to this ordinance.

SECTION 4. Effective Date: This Ordinance shall take effect and be in force from and after its passage by the Board of Aldermen and its approval by the Mayor of the City of Dardenne Prairie, Missouri.

SECTION 5. Savings Clause: Nothing contained herein shall in any manner be deemed or construed to alter, modify, supersede, supplant or otherwise nullify any other Ordinance of the City or the requirements thereof whether or not relating to or in any manner connected with the subject matter hereof, unless expressly set forth herein.

SECTION 6. Severability Clause: If any term, condition, or provision of this Ordinance shall, to any extent, be held to be invalid or unenforceable, the remainder hereof shall be valid in all other respects and continue to be effective and each and every remaining provision hereof shall be valid and shall be enforced to the fullest extent permitted by law, it being the intent of the Board of Aldermen that it would have enacted this Ordinance without the invalid or unenforceable provisions. In the event of a subsequent change in applicable law so that the provision which had been held invalid is no longer invalid, said provision shall thereupon return to full force and effect without further action by the City and shall thereafter be binding.

[Remainder of page intentionally left blank.]

Read two (2) times, passed, and approved this 21st day of December, 2022.


As Presiding Officer and as Mayor

Attest:


City Clerk

Approved this 21st day of December, 2022.


Mayor

Attest:


City Clerk

PUBLIC NOTICE

The City of Dardenne Prairie, Missouri, will conduct a Public Hearing regarding an AMENDED CUP Request application before the Planning and Zoning Commission on Wednesday, January 10th, 2024, at 7:00 p.m., or as soon thereafter as same may be heard, at the City of Dardenne Prairie City Hall located at 2032 Hanley Road in Dardenne Prairie, Missouri, and then be heard by the Board of Aldermen on Wednesday, January 17th, 2024, at 7:00 p.m., or as soon thereafter as same may be heard, at the City of Dardenne Prairie City Hall located at 2032 Hanley Road in Dardenne Prairie, Missouri, concerning the following:

Amended CUP Request

Name of Applicant:	Cloud Nine Massage
Name of Owner:	Stephanie Hofmeister, A Gathering Place Massage School
Address of Property:	1646, 1648 and 1650 Bryan Road Suite. Dardenne Prairie, MO 63368
Present Zoning Classification:	C-2 Commercial CUP
Proposed Zoning Classification:	C-2 Commercial CUP
Proposed Use:	Therapeutic Health Wellness Massage Therapy & School
Property Legal Description:	A tract of land being part of the Southwest Quarter of Section 6, Township 46 North, Range 3 East, St. Charles County, Missouri.

Notice of Public Hearings

(To be sent to property owners within 185')

Date: _____

Re: Notice of Public Hearings
Dardenne Prairie, Missouri

Dear Property Owner:

Please be advised that the City of Dardenne Prairie, Missouri, will conduct a Public Hearing regarding a Conditional Use Permit application for a tract of land near your property before the Planning and Zoning Commission on Wednesday, **January 10, 2024**, at 7:00 p.m., or as soon thereafter as same may be heard, at the city of Dardenne Prairie City Hall located at 2032 Hanley Road in Dardenne Prairie, Missouri, and before the Board of Aldermen on Wednesday, **January 17, 2024**, at 7:00 p.m., or as soon thereafter as same may be heard, at the city of Dardenne Prairie City Hall located at 2032 Hanley Road in Dardenne Prairie, Missouri, concerning the following:

Name of Applicant: _____
Name of Owner: _____
Present Zoning Classification: _____
Proposed Zoning Classification: _____
Proposed Use: _____
Property Location: _____

Please be advised that you have the right to be heard at the public hearings. If you have any questions, feel free to contact [me 636.946.0761](tel:636.946.0761) or the City of Dardenne Prairie at the telephone numbers listed below.

Sincerely,

Petitioner

cc: Kimberlie Clark, Dardenne Prairie City Clerk (636) 561-1718
Todd Streiler, AICP, LEED AP, Dardenne Prairie City Planner (636) 755-5314

name	address	city	st	zip
ANDREW & DANA HUGHES	1181 Pinnacle Pointe	DARDENNE PRAIRIE	MO	63368
BOPP CORA FAMILY LMTD PTNSHP & BUSCH GRACE L	12715 IRENE MARIE WAY	SAINT LOUIS	MO	63141
BRETT C WILKINSON	1186 PINNACLE POINTE DR	DARDENNE PRAIRIE	MO	63368
CHARLES E & LINDA K ZADOW	1700 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
CHRISTOPHER & CATHERINE MOST	23 HEAVENLY VALLEY DR	DARDENNE PRAIRIE	MO	63368
CHRISTOPHER & HANNAH GOCHANOUR	27 HEAVENLY VALLEY DR	DARDENNE PRAIRIE	MO	63368
CRAIG A & DEANNA L COTTRELL	4 JURA CT	DARDENNE PRAIRIE	MO	63368
DANIEL & HALEY QUILLEN	1022 BROOK MONT DR	O FALLON	MO	63366
DAVID J & LAURA J GITTEMEIER	6 Jura Ct	DARDENNE PRAIRIE	MO	63366
DUSHANT L SMITH	30 HEAVENLY VALLEY DR	DARDENNE PRAIRIE	MO	63368
ERIC D & STACY SHEEKS	1024 BROOK MONT DR	O FALLON	MO	63366
GERALD A & KATHY S THOMPSON	3 JURA CT	DARDENNE PRAIRIE	MO	63368
HERRMANN PROPERTIES LLC	9 THE PINES CT #B	SAINT LOUIS	MO	63141
J & J PROPERTIES OF ST CHARLES COUNTY LLC	1755 STUMP RD	O FALLON	MO	63368
J & J PROPERTIES OF ST CHARLES COUNTY LLC	1755 STUMP RD	O FALLON	MO	63368
JAMES E DOLAN	7 WHISPERING PINES CT	DARDENNE PRAIRIE	MO	63368
JAY R & JULIE A MEYERS	1016 BROOK MONT DR	O FALLON	MO	63366
JD INVESTMENT SERVICES3 LLC	158 GRANGE HILL LN	WELDON SPRING	MO	63304
JOHN D & DORIS M EDWARDS	4 WHISPERING PINES CT	DARDENNE PRAIRIE	MO	63368
JOL R & KAROL A KING	2 TOUSSAINT DR	DARDENNE PRAIRIE	MO	63368
JON D & VICTORIA J HARRINGTON	1705 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
JORDAN P & CRYSTAL N OATS	33 HEAVENLY VALLEY DR	DARDENNE PRAIRIE	MO	63368
JOYCE M TAYLOR	1121 WHISPERING PINES DR	DARDENNE PRAIRIE	MO	63368
KAREN M SCHNEIDER	2 JURA CT	DARDENNE PRAIRIE	MO	63368
KENNETH L & GLORIA J HEUSCHOBBER	1725 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
KEVIN & WENDY MURPHY	3 TOUSSAINT DR	DARDENNE PRAIRIE	MO	63368
LISA BENTLEY	1115 WHISPERING PINES DR	DARDENNE PRAIRIE	MO	63368
M O BRYAN PROPERTIES LLC	130 S JEFFERSON ST #300	CHICAGO	IL	60661
NICHOLAS S FERRANTE	21 HEAVENLY VALLEY DR	O FALLON	MO	63368
OLIVER F & LENA CRAIG	29 HEAVENLY VALLEY DR	DARDENNE PRAIRIE	MO	63368
OLYMPUS OFALLON REALTY LLC	5418 BROADWAY	WOODSIDE	NY	11377
PAMELA LEE COVERT	1193 PINNACLE POINTE DR	DARDENNE PRAIRIE	MO	63368
PATRICK & JEAN BRADY	1708 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368

PHILIP J & MICHELE A HARDIN	1182 PINNACLE POINTE DR	DARDENNE PRAIRIE	MO	63368
PINNACLE POINTE HOMEOWNERS ASSOCIATION	10 HEAVENLY VALLEY DR	DARDENNE PRAIRIE	MO	63368
RAYMOND C SMITH	22 HEAVENLY VALLEY DR	O FALLON	MO	63368
RAYMOND I & KATHARINE K KANNADY	6 WHISPERING PINES CT	DARDENNE PRAIRIE	MO	63368
ROBERT A & MICHELE A GIPPERICH	5 JURA CT	DARDENNE PRAIRIE	MO	63368
ROGER E & MELINDA K BAKER	1109 WHISPERING PINES DR	DARDENNE PRAIRIE	MO	63368
ROGER T & MELISSA S SANTE	1724 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
RONALD K & KATHRYN A MATEJKA	1127 WHISPERING PINES DR	DARDENNE PRAIRIE	MO	63368
SCHNUCK MARKETS INC	11420 LACKLAND RD	SAINT LOUIS	MO	63146
SETH A & SAMANTHA J SCHAEFERKOETTER	1018 BROOK MONT DR	O FALLON	MO	63366
SFG LL 2011-1 LLC	3414 PEACHTREE RD NE #250	ATLANTA	GA	30326
SHAUN & NICOLE HOLLRAH	1 TOUSSAINT DR	DARDENNE PRAIRIE	MO	63368
SILVERMAN	646 FOXBROOK DR	GLENDORA	CA	91740
SPECTRUM ST60XC459 SPRINT	PO BOX 85022	BELLEVUE	WA	98015
ST CHARLES COUNTY AMBULANCE DISTRICT	2000 SALT RIVER RD	SAINT PETERS	MO	63376
STEVEN S BROWN	1704 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
SVETLANA GWIN	1717 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
THOMAS E & MARYANN T HOLLANDER	1721 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
THOMAS J WRIGHT	1709 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
TONY L & RAMONDA PATTERSON	1713 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
TONY R & REBECCA J BEVIER	1716 WESTERN PINES CT	DARDENNE PRAIRIE	MO	63368
TRAVIS M & KRISTIN B ZESSINGER	1020 BROOK MONT DR	O FALLON	MO	63366
WESTCO LUBE INC	1221 W 103RD ST	KANSAS CITY	MO	64114
WHISPERING PINES COMMUNITY ASSOCIATION	6 WHISPERING PINES CT	DARDENNE PRAIRIE	MO	63368
WILLIAM J & SANDRA L FELDT	5 WHISPERING PINES CT	DARDENNE PRAIRIE	MO	63368



Exhibit "A"

A tract of land being part of the Southwest Quarter of Section 6, Township 46 North, Range 3 East, St. Charles County, Missouri and being more particularly described as follows:

Beginning at the intersection of the North line of Whispering Pines, Plat One, a subdivision according to the plat thereof recorded in Plat Book 32 Page 262 of the St. Charles County records with the East right-of-way line of Bryan Road; thence along said right-of-way line the following courses and distances; along a curve to the right whose chord bears North 11 degrees 39 minutes 31 seconds East 377.17 feet and whose radius point bears North 67 degrees 59 minutes 40 seconds West 1050.00 feet from the last mentioned point, an arc distance of 379.24 feet, thence North 01 degrees 18 minutes 42 seconds East 222.49 feet to a curve to the right whose chord bears North 46 degrees 05 minutes 22 seconds East 49.30 feet and whose radius point bears South 88 degrees 41 minutes 18 seconds East 35.00 feet from the last mentioned point, an arc distance of 54.71 feet; thence South 89 degrees 07 minutes 59 seconds East 219.76 feet; thence North 01 degrees 08 minutes 43 seconds East 20.14 feet to the South right-of-way line of Flese Road; thence along said right-of-way line the following courses and distances; South 89 degrees 07 minutes 59 seconds East 31.00 feet; thence along a curve to the right whose chord bears South 88 degrees 44 minutes 19 seconds East 89.95 feet and whose radius point bears South 00 degrees 52 minutes 01 seconds West 6531.81 feet from the last mentioned point, an arc distance of 89.95 feet; thence South 82 degrees 05 minutes 15 seconds East 79.23 feet to the West line of property conveyed to St. Charles County Ambulance District by deed recorded in Book 2311 page 1759 of said records; thence along said West line, South 01 degrees 08 minutes 36 seconds West 228.12 feet; thence along the South line of said St. Charles County Ambulance District property, South 88 degrees 51 minutes 24 seconds East 200.28 feet to the West right-of-way line of Stump Road; thence along said West right-of-way line, South 01 degrees 08 minutes 36 seconds West 410.50 feet to the North line of the aforesaid Whispering Pines Plat One; thence along said North line, North 88 degrees 58 minutes 14 seconds West 723.98 feet to the POINT OF BEGINNING as per calculations by Bax Engineering Company, Inc. during December 2003.



Planning & Development Manager

Phone 636.755.5314

Fax: 636.898.0923

Tstreiler@DardennePrairie.org

City Hall

2032 Hanley Road

Dardenne Prairie, MO 63368

Phone 636.561.1718

Fax 636.625.0077

January 4, 2024

Sean Ackley P.E.
Engenuity
17057 N. Outer Forty Road, Suite 147
Chesterfield, MO 63005

Subject: Amended CUP, PUD Final Plan Request
Dardenne Prairie Project No. 972260

Dear Mr. Ackley:

The subject Amended PUD Final Plan application that was received by the City January 3, 2024 for consideration by the Dardenne Prairie Planning and Zoning Commission and Board of Aldermen has been reviewed for completeness, compliance with the applicable regulations and for consistency with the PUD Area Plan and Governing Ordinance #2279 approved on December 20, 2023. Below is a summary of the review findings and recommendations.

1. Provide the dimensions and height of all monument signs and the area of all wall signs. Be advised, no signs shall be located in the sight distance triangle.
2. Provide landscaping within the island separating the drive-through lanes on Lot 3 and add a note to the plan stating all landscaped areas shall contain in-ground irrigation.
3. Be advised, the Sugar Fire Building has been moved 10' to the west and a bbq/smoking area provided behind the building. Please provide a rationale for this change.
4. The water tower feature on the roof of Mac-adoodles has been removed.
5. The roof of the apartments shall be pitched in lieu of the flat roof shown on previous architectural elevations.

Please provide a narrative addressing the above items in advance of the Planning Commission's January 10th, 2024 meeting for their review and recommendation.

If you have any questions, please feel free to contact me.

Respectfully,

Todd Streiler, AICP, LEED AP
Planning & Development Manager

cc: James Knowles, City Administrator
Tom Weiss, City Engineer

AMENDED P.U.D. FINAL PLAN FOR THE PRAIRIE ENCORE

A TRACT OF LAND BEING PART OF SECTION 1,
TOWNSHIP 46 NORTH, RANGE 2 EAST,
ST. CHARLES COUNTY, MISSOURI

LEGEND

EXISTING	PROPOSED



LOCATION MAP
NOT TO SCALE

PROPERTY INFORMATION

EXISTING OWNER: DEVELOPER:	BOPP CORA FAMILY LMTD PARTNERSHIP MIA ROSE HOLDINGS, LLC
SITE ADDRESS:	1575 BRYAN ROAD DARDENNE PRAIRIE, MISSOURI 63366
PARCEL ID#:	4-0033-S001-000-0001.2000000
EXISTING ZONING:	C-3 PLANNED UNIT DEVELOPMENT (P.U.D.)
SUBJECT SITE AREA:	TOTAL = 17.25 ACRES (INCLUDES R/W)
NUMBER OF RESIDENTIAL UNITS:	LOT 1 - 190 UNITS (MULTI-FAMILY RESIDENTIAL)
WATER DISTRICT:	PUBLIC WATER SUPPLY DISTRICT #2
FIRE DISTRICT:	O'FALLON FIRE PROTECTION DISTRICT
SEWER DISTRICT:	DUCKETT CREEK SANITARY DISTRICT
ELECTRIC SERVICE:	AMEREN MISSOURI ELECTRIC
NATURAL GAS SERVICE:	SPIRE ENERGY
SCHOOL DISTRICT:	WENTZVILLE SCHOOL DISTRICT
COMMUNICATIONS:	SPECTRUM / AT&T COMMUNICATIONS

REGULATIONS AND PERFORMANCE STANDARDS FOR R-M ZONING DISTRICT (BASIS FOR MULTI-FAMILY RESIDENTIAL - LOT 1)

- LOT AREA = 10,000 SQUARE FEET
- LOT WIDTH = 100 FEET
- MINIMUM ACREAGE = 5 ACRES
- MINIMUM UNIT AREA = 900 SQUARE FEET
- MAXIMUM UNITS PER ACRE = 32 UNITS
- FRONT YARD = NOT LESS THAN 20 FEET
- SIDE YARD = NOT LESS THAN 20 FEET
- REAR YARD = NOT LESS THAN 20 FEET
- NO BUILDING OR STRUCTURE SHALL EXCEED 4 STORIES
- DISTANCE BETWEEN BUILDINGS: SIDES = 40 FEET
- DISTANCE BETWEEN BUILDINGS: FRONT OR REAR = 60 FEET
- LANDSCAPE YARD ALONG SIDE OR REAR OF R-M ADJOINING COMMERCIAL = 20 FEET
- DENSITY = 12 UNITS PER ACRE
- MAXIMUM OF 8 DWELLING UNITS IN A ROW
- MINIMUM OF 570 PARKING SPACES REQUIRED

DEVIATIONS REQUESTED FOR R-M ZONING DISTRICT (BASIS FOR MULTI-FAMILY RESIDENTIAL - LOT 1)

- LOT AREA - N/A
- LOT WIDTH - N/A
- MINIMUM ACREAGE - N/A
- MINIMUM UNIT AREA - 594 SQUARE FEET
- MAXIMUM UNITS PER ACRE - N/A
- FRONT YARD - N/A
- SIDE YARD - N/A
- REAR YARD - N/A
- NO BUILDING OR STRUCTURE SHALL EXCEED 4 STORIES - N/A
- DISTANCE BETWEEN BUILDINGS: SIDES - N/A
- DISTANCE BETWEEN BUILDINGS: FRONT OR REAR - N/A
- LANDSCAPE YARD ALONG SIDE OR REAR OF R-M ADJOINING COMMERCIAL: EAST PROPERTY LINE - 5 FEET SOUTH PROPERTY LINE - 0 FEET
- DENSITY - 12.47 UNITS PER ACRE
- MAXIMUM DWELLING UNITS IN A ROW - 16 UNITS
- MINIMUM OF 570 PARKING SPACES REQUIRED - 379 PROVIDED

REGULATIONS AND PERFORMANCE STANDARDS FOR C-3 ZONING DISTRICT (BASIS FOR COMMERCIAL - LOTS 2, 3, 4, 5, 6)

- LOT WIDTH = 150 FEET WIDE AT BUILDING LINES
- LOT DEPTH = NONE
- LOT COVERAGE = NONE
- FRONT YARD = NOT LESS THAN 25 FEET, EXCLUDING ALL SIGNS, PUMP ISLANDS, AND CANOPIES OF GASOLINE SERVICE STATIONS
- SIDE YARD = NOT LESS THAN 10 FEET. 25 FEET SHALL BE PROVIDED ON THE STREET SIDE OF A CORNER LOT.
- REAR YARD = NOT LESS THAN 15 FEET.
- TRANSITION STRIP BETWEEN RESIDENTIAL AND COMMERCIAL DISTRICT SHALL BE A MINIMUM OF 15 FEET.

DEVIATIONS REQUESTED FOR C-3 ZONING DISTRICT (BASIS FOR COMMERCIAL - LOTS 2, 3, 4, 5, 6)

- LOT WIDTH - N/A
- LOT DEPTH - N/A
- LOT COVERAGE - N/A
- FRONT YARD - N/A
- SIDE YARD - N/A
- REAR YARD - N/A
- TRANSITION STRIP BETWEEN RESIDENTIAL AND COMMERCIAL DISTRICT: LOT 1 TRANSITION STRIP BETWEEN LOTS 2, 3, 4, 5, 6 = 0 FEET

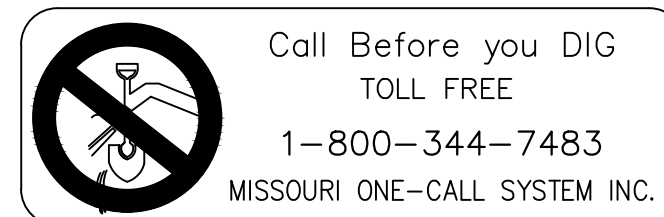
ABBREVIATIONS

ADS - ADVANCED DRAINAGE SYSTEMS, INC.	N.T.S. - NOT TO SCALE
ATG - ADJUST TO GRADE	O.C. - ON CENTER
B.M. - BENCHMARK	PAVT. - PAVEMENT
C.I. - CURB INLET	P.C. - PORTLAND CEMENT
C.O. - CLEAN OUT	PCC - PRECAST CONCRETE
CMP - CORRUGATED METAL PIPE	P.S.I. - POUNDS/SQUARE INCH
CONC. - CONCRETE	PROP. - PROPOSED
C.Y. - CUBIC YARDS	P.U.M.I. - PRIVATE UNDER MSD INSPECTION
D.C.I. - DOUBLE CURB INLET	R.C. - REINFORCED CONCRETE
DIP - DUCTILE IRON PIPE	R.R. - RAIL ROAD
DIA. - DIAMETER	RCF - REINFORCED CONCRETE PIPE
DS - DOWNSPOUT	S.F. - SQUARE FOOT
ELEV. - ELEVATION	S.Y. - SQUARE YARD
EX - EXISTING	SAN - SANITARY
FD - FLOOR DRAIN	SCH - SCHEDULE
FF - FINISH FLOOR	SWPPP - STORM WATER POLLUTION
FL - FLOW LINE	TBA - TO BE ABANDONED
GI. - GRATE INLET	TBR - TO BE REMOVED
GAL. - GALLON	TYP. - TYPICAL
H.G. - HYDRAULIC GRADE	UIP - USE IN PLACE
HYD - HYDRANT	VCP - VITRIFIED CLAY PIPE
MAX - MAXIMUM	YD - YARD DRAIN
MH - MANHOLE	WV - WATER VALVE
MIN - MINIMUM	

FEMA FLOOD HAZARD MAP 29183C0240G JANUARY 20TH 2016 (PANEL 240 OF 525), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS.

A PORTION OF THIS PROPERTY THIS FALLS WITHIN FLOOD ZONE HAZARD AREA "ZONE AE" WHICH IS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN. A PORTION OF THE PROPERTY ALSO FALLS WITHIN "ZONE X (SHADED)" AND "ZONE X (UNSHADED)".

SITE LIGHTING TO BE PROVIDED ON THE SUBJECT PROPERTY WILL BE INSTALLED AND MAINTAINED BY THE DEVELOPER. LIGHTING IN PUBLIC RIGHT OF WAY (CORA MARIE) TO BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE CITY OF DARDENNE PRAIRIE.



Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

SITE COVERAGE CALCULATIONS

EXISTING SITE	Area (ac.)	% Total
Description	17.25	
Buildings =	0.26	1.5%
Pavement =	0.33	1.9%
Total Impervious Area =	0.59	3.4%
Open Space =	16.66	96.6%
PROPOSED SITE	Area (ac.)	% Total
Description	17.25	
Buildings =	1.97	11.4%
Pavement =	7.79	45.2%
Total Impervious Area =	9.77	56.6%
Open Space =	7.48	43.4%
LOT 1	Area (ac.)	% Total
Description	6.71	
Buildings =	1.52	22.7%
Pavement =	2.56	38.2%
Total Impervious Area =	4.09	60.9%
Open Space =	2.63	39.1%
LOT 2	Area (ac.)	% Total
Description	1.37	
Buildings =	0.07	5.0%
Pavement =	1.10	80.4%
Total Impervious Area =	1.17	85.5%
Open Space =	0.20	14.5%
LOT 3	Area (ac.)	% Total
Description	1.58	
Buildings =	0.26	16.42%
Pavement =	1.11	70.1%
Total Impervious Area =	1.37	86.5%
Open Space =	0.21	13.5%
LOT 4	Area (ac.)	% Total
Description	1.72	
Buildings =	0.12	7.0%
Pavement =	1.29	75.0%
Total Impervious Area =	1.41	82.0%
Open Space =	0.31	18.0%
LOT 5	Area (ac.)	% Total
Description	0.99	
Pavement =	0.24	24.2%
Total Impervious Area =	0.24	24.2%
Open Space =	0.75	75.8%
LOT 6	Area (ac.)	% Total
Description	1.60	
Pavement =	0.33	20.6%
Total Impervious Area =	0.33	20.6%
Open Space =	1.27	79.4%
LOT 7	Area (ac.)	% Total
Description	1.17	
Pavement =	0.00	0.0%
Total Impervious Area =	0.00	0.0%
Open Space =	1.17	100.0%
PROPOSED R/W	Area (ac.)	% Total
Description	2.11	
Pavement =	1.16	55.0%
Total Impervious Area =	1.16	55.0%
Open Space =	0.95	45.0%

PARKING SUMMARY

LOT 1	Multi-Family Apartment Building
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Multi-Family: Three spaces per unit (covered parking is optional)	
Dwelling Units	
Total Required (per code) =	3 space x 190 Units = 570 spaces required
Alternative Total (1.7 per unit)	1.7 space x 190 Units = 323 spaces (alternative)
Total Lot 1 Provided =	267 spaces provided
Shared Spaces from Lot 5 =	25 spaces provided
Shared Spaces from Lot 6 =	37 spaces provided
Total	329 spaces provided
ADA Spaces Required =	8 ADA spaces required
ADA Spaces Provided =	8 ADA spaces provided
LOT 2	Restaurant (With Pickup Window)
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Restaurant General: Twenty (20) Spaces plus One (1) space per 100 square feet	
Building Area =	3,000 sq. ft.
Total Required =	20 + 3,000 sq. ft. x 1 space / 100 sq. ft. = 50 spaces required
Total	51 spaces provided
ADA Spaces Required =	3 ADA spaces required
ADA Spaces Provided =	3 ADA spaces provided
LOT 3	RETAIL
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Retail, General: Ten (10) spaces plus One (1) per Four Hundred (400) square feet in excess of first Two-Thousand (2,000) square feet	
Building Area =	11,500 sq. ft.
Total Required =	10 + 9,500 sq. ft. x 1 space / 400 sq. ft. = 34 spaces required
Total Provided =	45 spaces provided
ADA Spaces Required =	2 ADA spaces required
ADA Spaces Provided =	3 ADA spaces provided
LOT 4	Convenience/Fueling Station
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements: Convenience/Fueling Station: One (1) Space per 250 square feet of floor area	
Building Area =	5,200 sq. ft.
Total Required =	5,200 sq. ft. x 1 space / 250 sq. ft. = 21 spaces required
Total Provided =	28 spaces provided
ADA Spaces Required =	2 ADA spaces required
ADA Spaces Provided =	2 ADA spaces provided

% Change from Approved Final Plan Commercial Building Area

Approved Final Plan	Amended Area Plan
Lot 2 = 3,000 s.f.	Lot 2 = 3,000 s.f.
Lot 3 = 664 s.f.	Lot 3 = 11,500 s.f.
Lot 4 = 8,500 s.f.	Lot 4 = 5,200 s.f.
Lot 5 = 5,200 s.f.	Lot 5 = 5,200 s.f.
Total Approved = 17,364 s.f.	Total Approved = 19,700 s.f.
Difference =	2,336 s.f.
% Increase =	13%

DENSITY CALCULATIONS

Total Dwelling Units =	190 units
Total Area Including ROW	17.25 acres
	11.01 units/acre (Including ROW)
Total Area Excluding ROW	15.23 acres (Excluding ROW)
	12.47 units/acre

LOT AREAS

Lot	Area	Acres
Lot 1 Area =	292,453 sq. ft.	6.71 Acres
Lot 2 Area =	59,991 sq. ft.	1.37 Acres
Lot 3 Area =	68,966 sq. ft.	1.58 Acres
Lot 4 Area =	74,998 sq. ft.	1.72 Acres
Lot 5 Area =	43,096 sq. ft.	0.99 Acres
Lot 6 Area =	69,842 sq. ft.	1.60 Acres
Lot 7 Area =	50,785 sq. ft.	1.17 Acres
Cora Marie R/W	31,317 sq. ft.	0.72 Acres
Bryan/Feise R/W	60,379 sq. ft.	1.39 Acres
Total =	751,427 sq. ft.	17.25 Acres

LIMITS OF DISTURBANCE = 14.21 ACRES (±)
TOTAL SITE AREA = 17.25 ACRES (±)

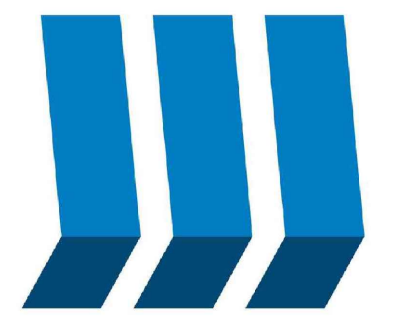
DIFFERENTIAL RUNOFF CALCULATIONS
EXISTING = 30.41 CFS
PROPOSED = 51.33 CFS
+ 20.92 CFS

WATER QUALITY & STORMWATER DETENTION ARE REQUIRED

SHEET INDEX

CIVIL	COVER SHEET
C000	EXISTING CONDITIONS & DEMO PLAN
C100	EROSION & SEDIMENT CONTROL PLAN
C200	OVERALL SITE PLAN
C300	ENLARGED SITE PLAN
C301	SITE PLAN COMPARISON
C302	COLORLED SITE PLAN
C303	OVERALL GRADING PLAN
C400	OVERALL UTILITY PLAN
C500	STORMWATER MANAGEMENT PLAN
C600	CONSTRUCTION DETAILS & TYPICAL SECTIONS
C700	DEDICATION & RESERVATION EXHIBIT
C800	ZONING & GENERAL BOUNDARY EXHIBIT
C900	
LANDSCAPE PLAN	LANDSCAPE PLAN
L1-L5	
PHOTOMETRIC PLAN	SITE PLAN-PHOTOMETRIC
PH100	PHOTOMETRIC SCHEDULES & DETAILS
PH101	
ARCHITECTURAL	ELEVATIONS
LOT 3 RETAIL	
A200	

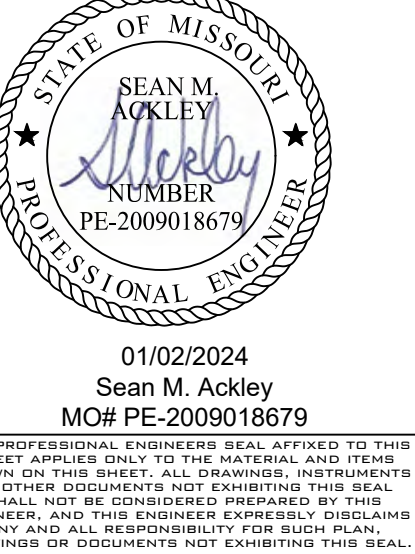
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MISSOURI ENGINEER #17254



PREPARED FOR:
MIA ROSE HOLDINGS
CONTACTS: TOM KAIMAN
JIM COOK

THE PRAIRIE ENCORE
AMENDED P.U.D. FINAL PLAN
1575 BRYAN ROAD
DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
No	Description	Date
1	City Comments	06/07/23
2	Amended Plan	01/02/24



DATE: 5/3/2023
SCALE: NOT TO SCALE

COVER SHEET

C000

KEYED NOTES

1. REMOVE TREES
2. CLEARING LIMITS
3. EXISTING TREES TO REMAIN
4. REMOVE BUILDING
5. SAWCUT PAVEMENT FULL DEPTH
6. REMOVE CONCRETE PAVEMENT
7. REMOVE GRAVEL DRIVE
8. REMOVE CONCRETE VERTICAL CURB
9. SAWCUT @ NEAREST JOINT
10. REMOVE CONCRETE WALK
11. REMOVE & REPLACE EXISTING IMPROVEMENTS IN KIND AS REQUIRED TO INSTALL SANITARY SEWER
12. CURB TO BE USED IN PLACE
13. CONCRETE WALK TO BE USED IN PLACE
14. CURB INLETS TO BE CONVERTED TO STORM MANHOLES AND ADJUSTED TO GRADE

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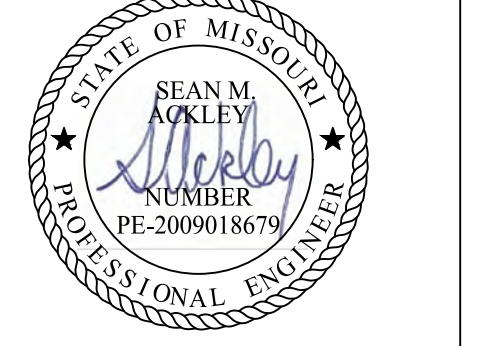


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**THE PRAIRIE ENCORE
 AMENDED P.U.D. FINAL PLAN**
 1575 BRYAN ROAD
 DARDENNE PRAIRIE, MISSOURI 63366

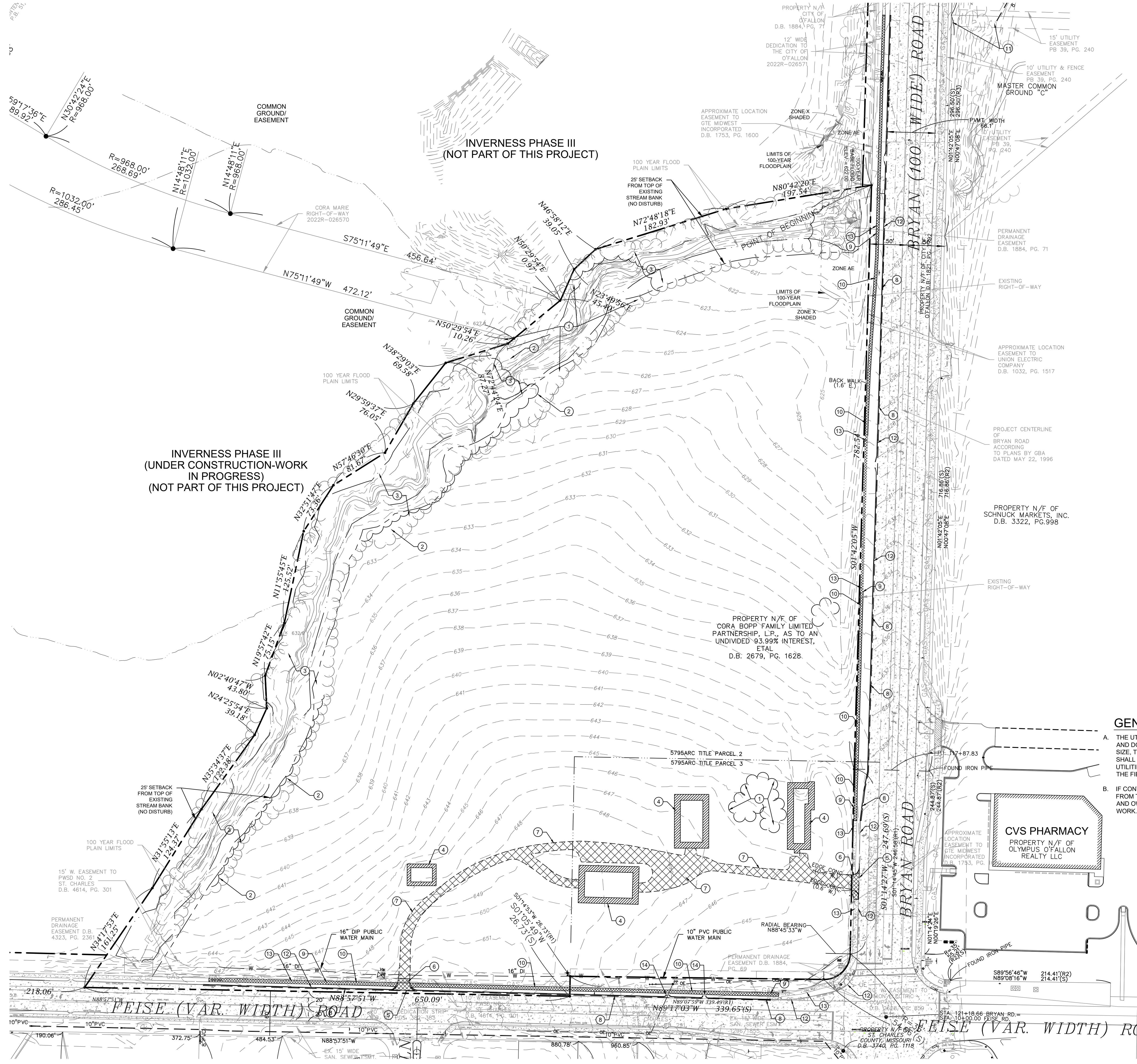
Project No:	22-0113	
No	Description	Date
1	City Comments	06/07/23
2	Amended Plan	01/02/24

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01/02/2024
 Sean M. Ackley
 M.O.F. PE-2009018679
 DATE: 5/3/2023
 SCALE: 1"=60'

**OVERALL
 DEMOLITION PLAN**
 C100



GENERAL NOTES

- A. THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.
- B. IF CONTRACTOR DETERMINES THAT ACTUAL EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER BEFORE COMMENCING AND DEMOLITION OR CONSTRUCTION WORK.

KEYED NOTES

1. ASPHALT PAVEMENT
2. CONCRETE PAVEMENT PER CITY STANDARDS
3. ROAD WIDENING PER CITY STANDARDS
4. CONCRETE ENTRANCE PER CITY STANDARDS
5. 6" VERTICAL CONCRETE CURB
6. 6" INTEGRAL CONCRETE CURB
7. CONCRETE SIDEWALK PER CITY STANDARDS
8. MONOLITHIC CURB & WALK
9. ADA RAMP
10. MODULAR BLOCK RETAINING WALL W/ GUARDRAIL AND FENCE (DESIGN BY OTHERS)
11. MODULAR BLOCK RETAINING WALL W/ FENCE (DESIGN BY OTHERS)
12. TRASH ENCLOSURE
13. COFFEE ORDERING AREA
14. LOADING AREA PER CITY CODE (12' X 35')
15. PROPOSED SHARED PARKING
16. PROPOSED MONUMENT SIGN
17. FUTURE MODULAR BLOCK RETAINING WALL W/ GUARDRAIL AND FENCE (DESIGN BY OTHERS)
18. 'MACADOODLES PICK UP' SIGN
19. 'COFFEE DRIVE THRU' SIGN

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 LICENSE # 17354



PREPARED FOR:
MIA ROSE HOLDINGS
 CONTACTS: TOM KAIMAN
 JIM COOK

THE PRAIRIE ENCORE
 AMENDED P.U.D. AREA PLAN
 1575 BRYAN ROAD
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
No	Description	Date
1	City Submittal	12/05/23

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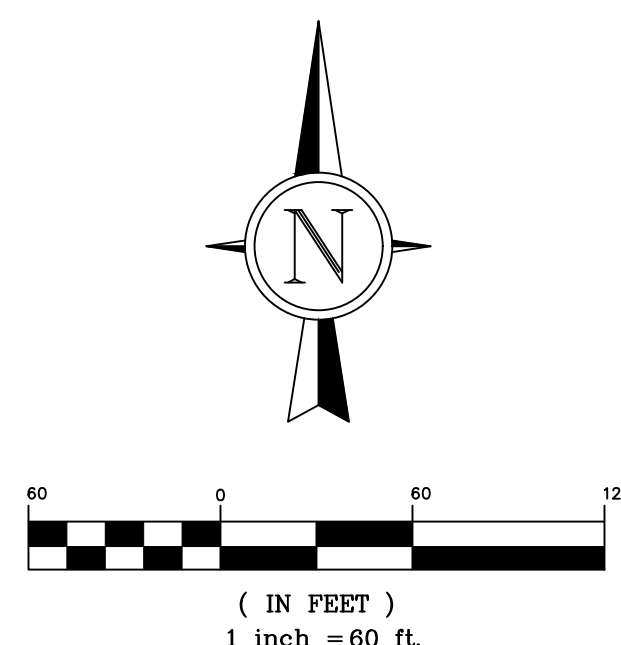
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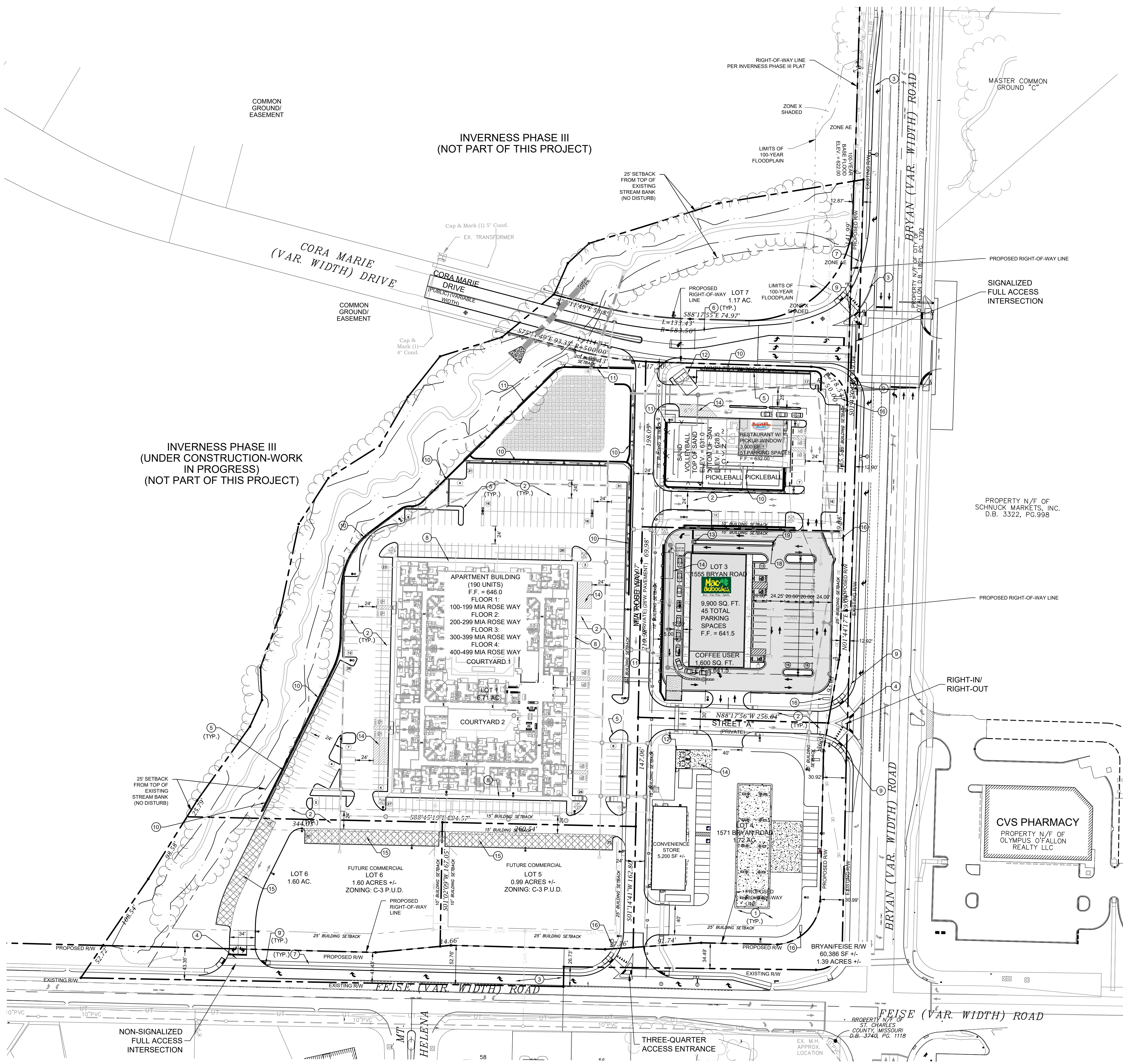
OVERALL SITE PLAN
 C300

PRELIMINARY PLAN- NOT FOR CONSTRUCTION

NOTE:
 DAMAGED AND/OR NON-COMPLIANT
 SIDEWALKS WILL BE REMOVED AND REPLACED.

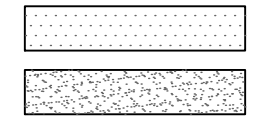


ITEMS SCHEDULED FOR
 DEMOLITION HAVE BEEN
 REMOVED FOR CLARITY



KEYED NOTES

1. ASPHALT PAVEMENT
2. CONCRETE PAVEMENT PER CITY STANDARDS
3. 6" VERTICAL CONCRETE CURB & GUTTER
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14. COFFEE ORDERING AREA



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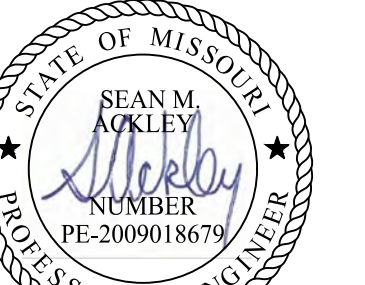
CONTACTS: TOM KAIMAN
 JIM COOK

THE PRAIRIE ENCORE
 AMENDED P.U.D. AREA PLAN

1575 BRYAN ROAD
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
No	Description	Date
1	City Submittal	12/05/23

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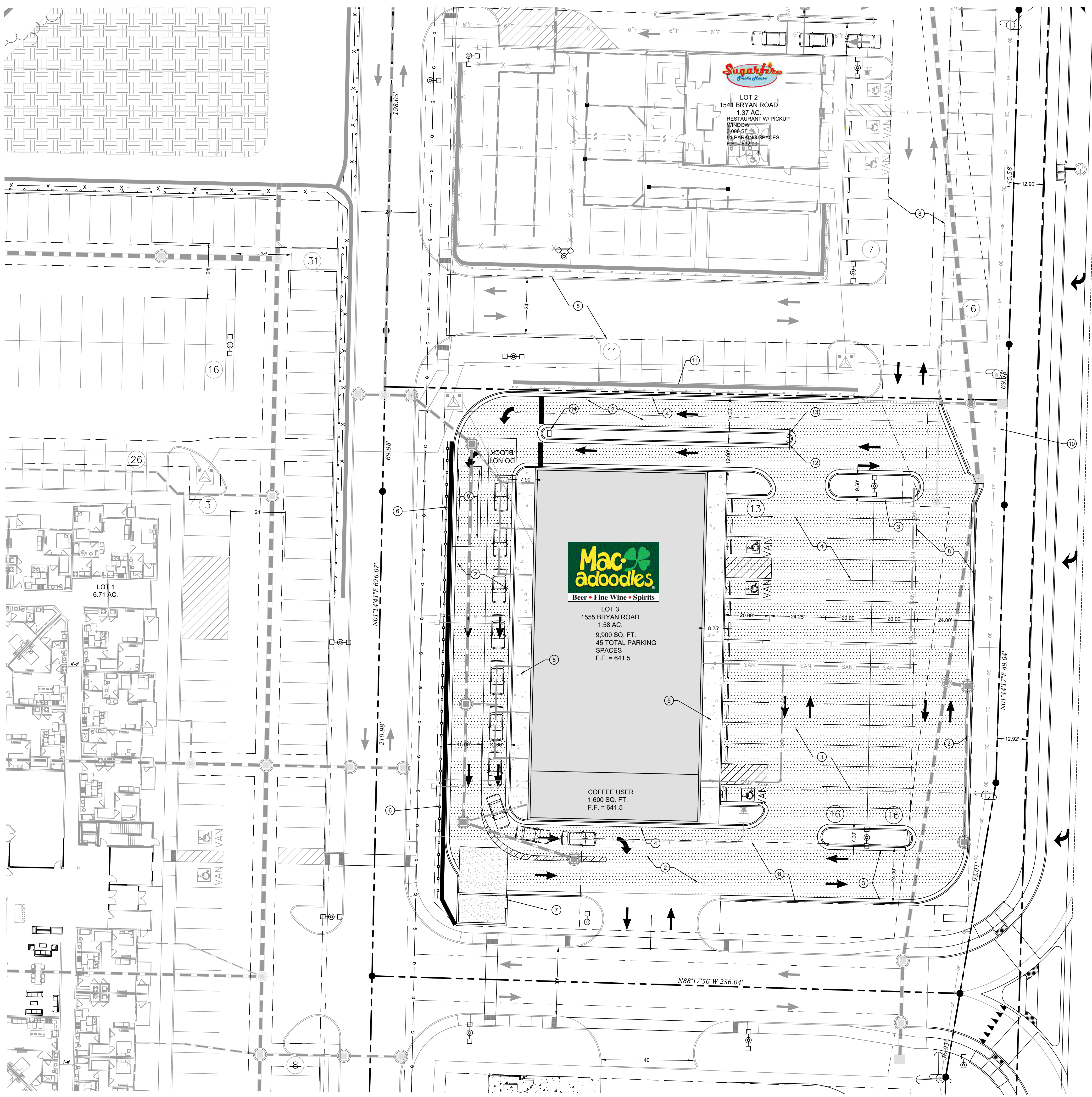
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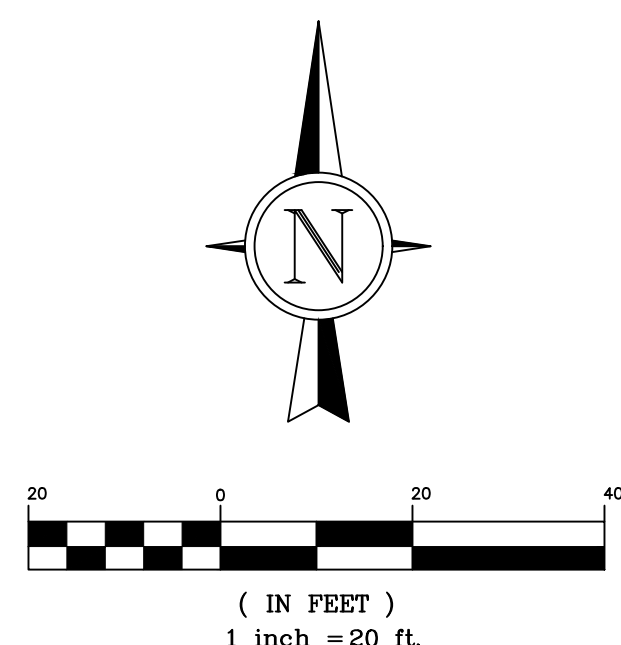
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ENLARGED
 SITE PLAN

C301

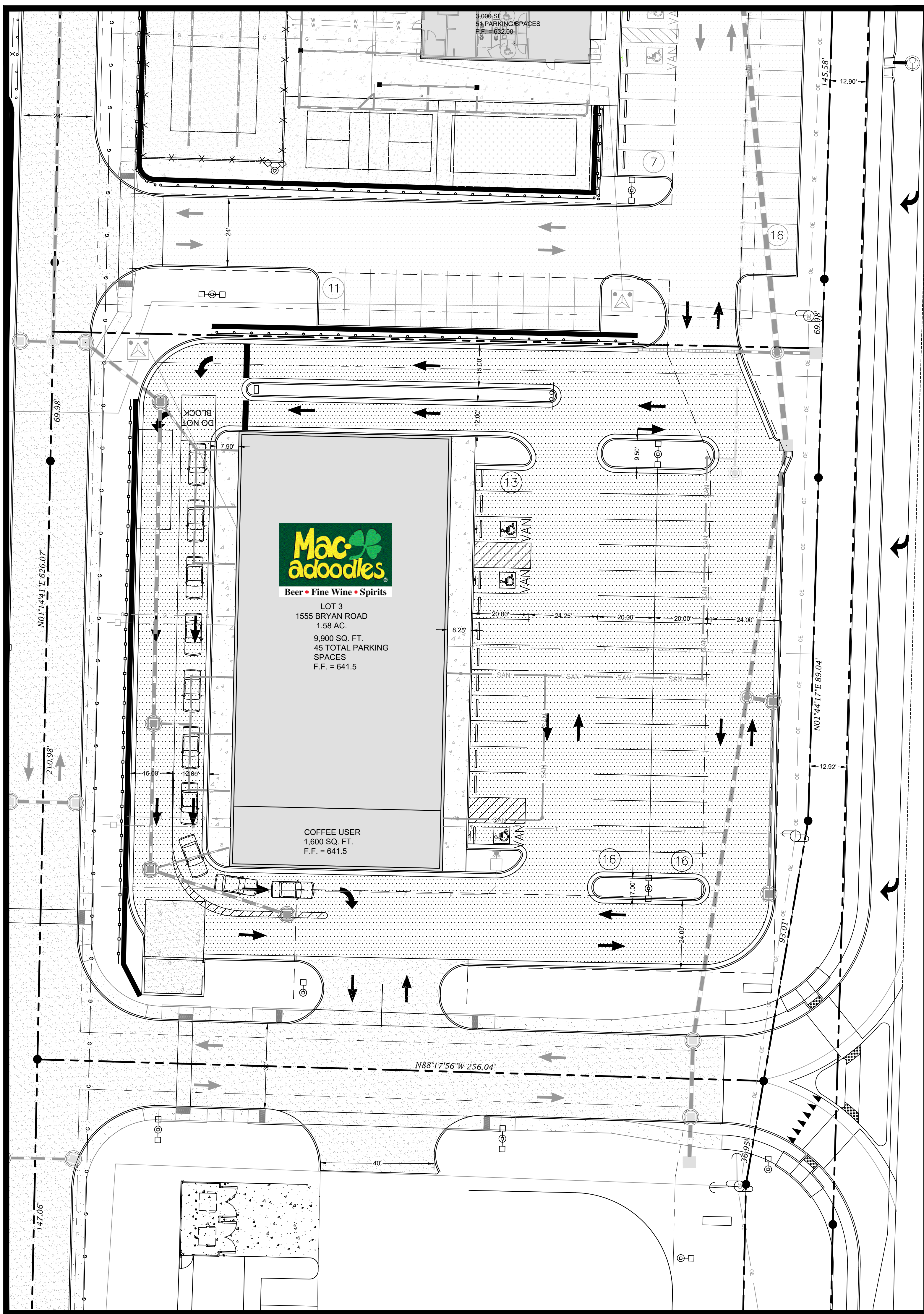


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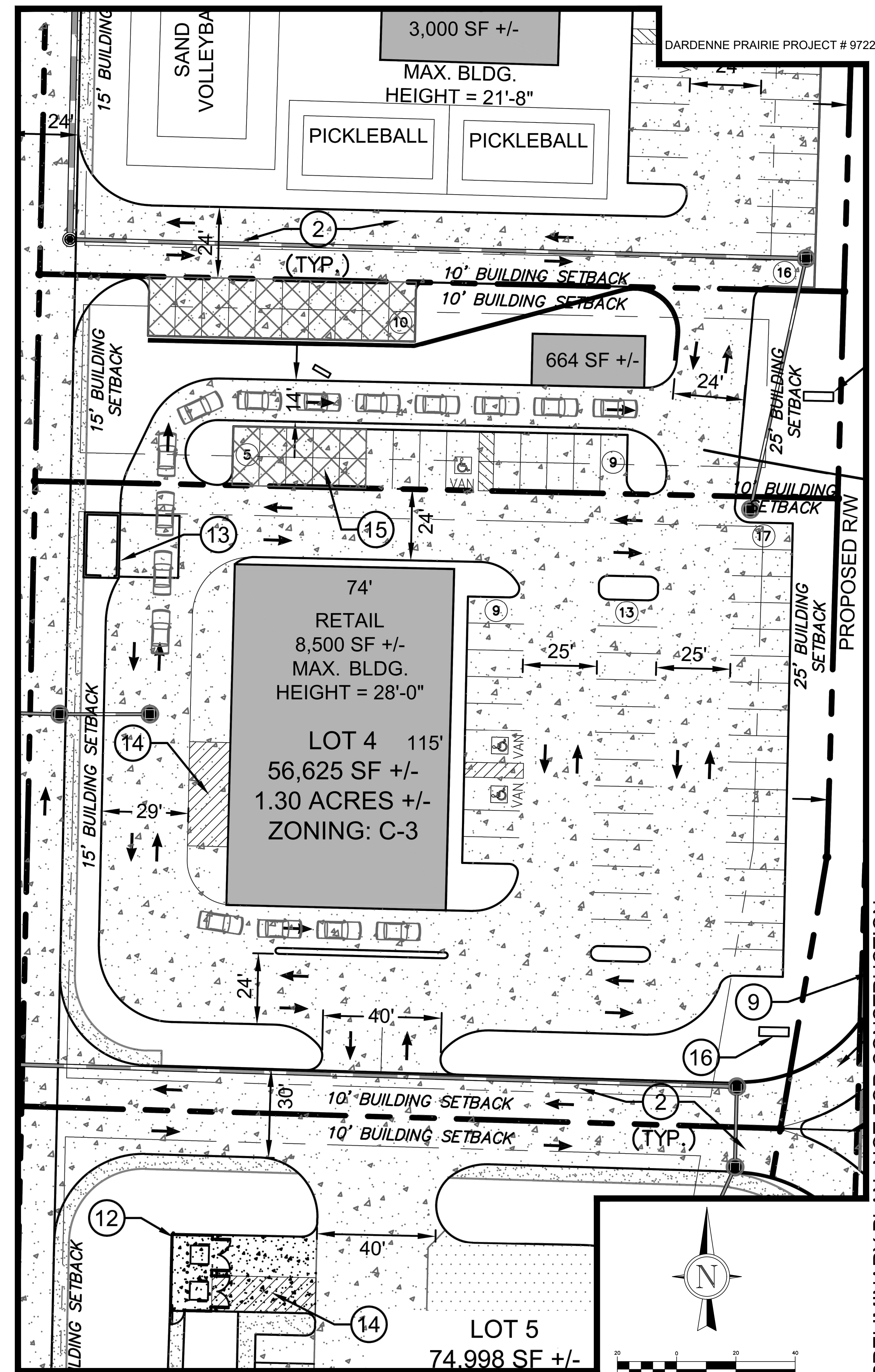


ITEMS SCHEDULED FOR
 DEMOLITION HAVE BEEN
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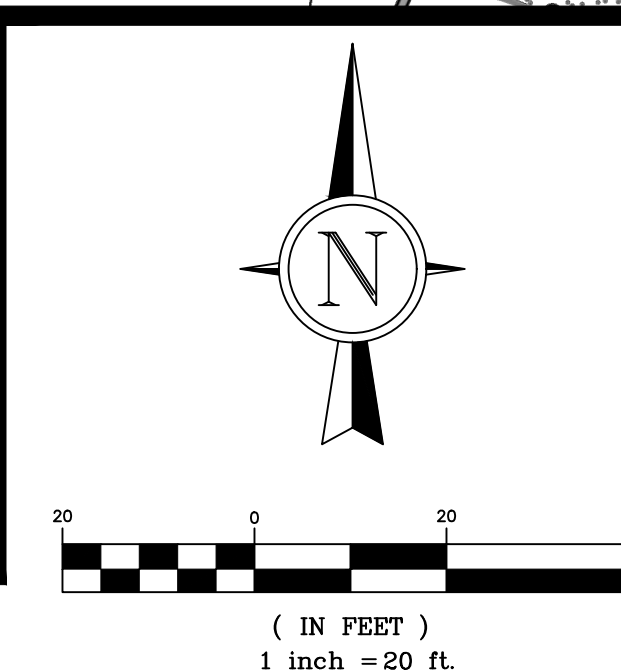
PRELIMINARY PLAN-NOT FOR CONSTRUCTION



AMENDED AREA PLAN



APPROVED FINAL PLAN



PRELIMINARY PLAN - NOT FOR CONSTRUCTION

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PREPARED FOR:
MIA ROSE HOLDINGS

CONTACTS: TOM KAIMAN
JIM COOK

THE PRAIRIE ENCORE
AMENDED P.U.D. AREA PLAN

1575 BRYAN ROAD
DARDENNE PRAIRIE, MISSOURI 63366

Project No: 22-0113

No	Description	Date
1	City Submittal	12/05/23

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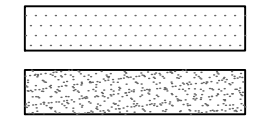
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ENLARGED
SITE PLAN

C301

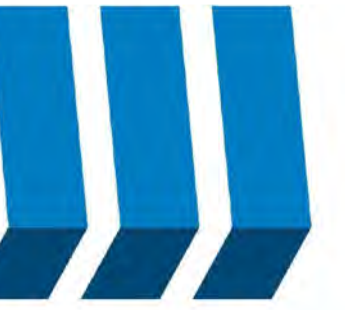
KEYED NOTES

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2. CONCRETE PAVEMENT PER CITY STANDARDS
3. 6" INTEGRAL CONCRETE CURB & GUTTER
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PREPARED FOR:

MIA ROSE HOLDINGS

CONTACTS: TOM KAIMAN
 JIM COOK

THE PRAIRIE ENCORE
 AMENDED P.U.D. AREA PLAN

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 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
No	Description	Date
1	City Submittal	12/05/23

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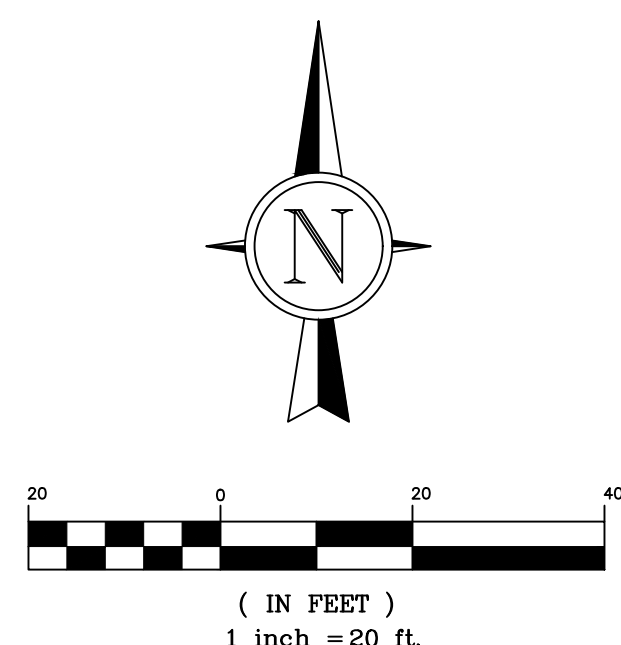
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ENLARGED
 SITE PLAN

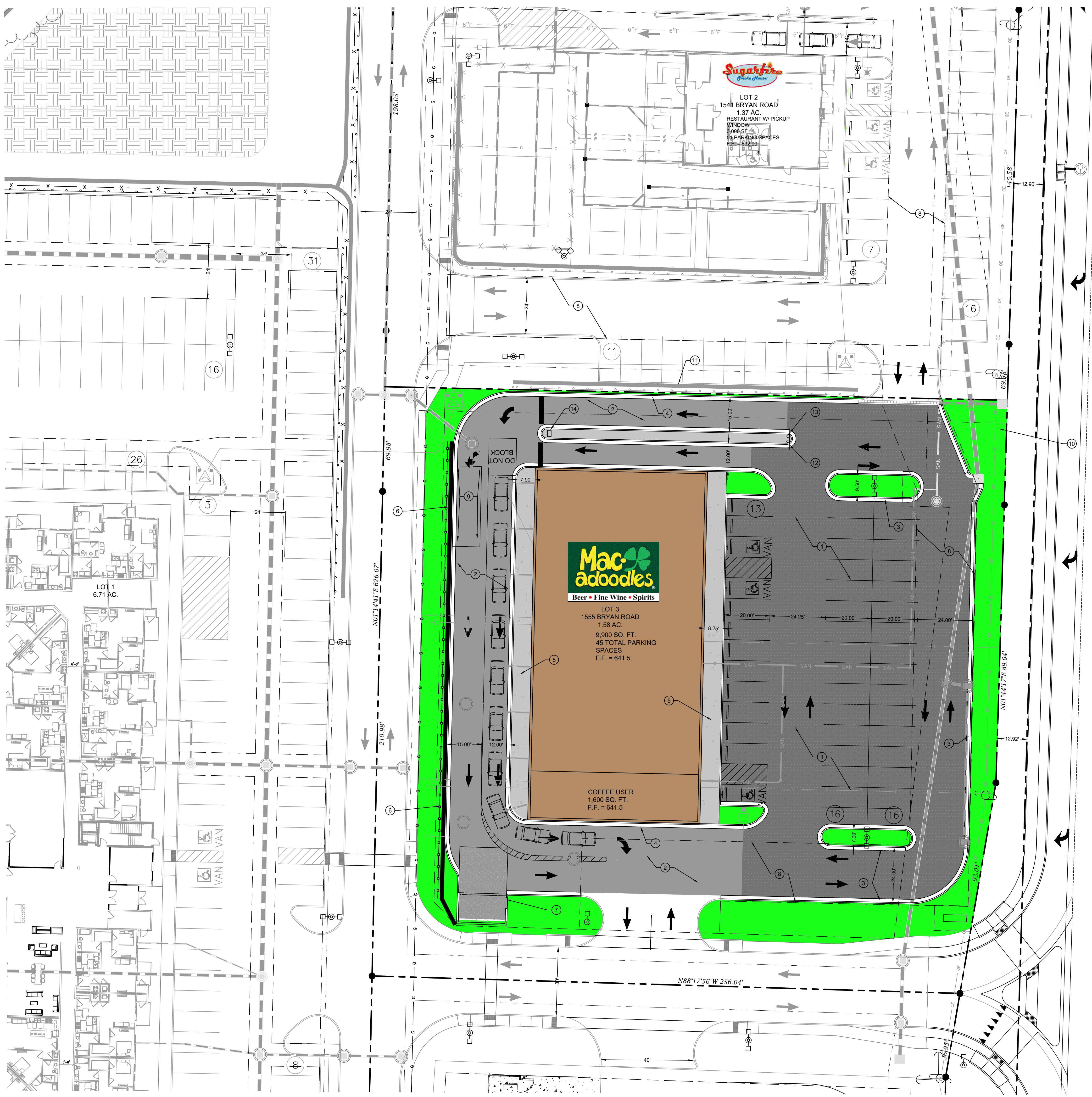
C301

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

NOTE:
 DAMAGED AND/OR NON-COMPLIANT
 SIDEWALKS WILL BE REMOVED AND REPLACED.



ITEMS SCHEDULED FOR
 DEMOLITION HAVE BEEN
 REMOVED FOR CLARITY





**THE PRAIRIE ENCORE
 AMENDED P.U.D. FINAL PLAN**
 1575 BRYAN ROAD
 DARDENNE PRAIRIE, MISSOURI 63366

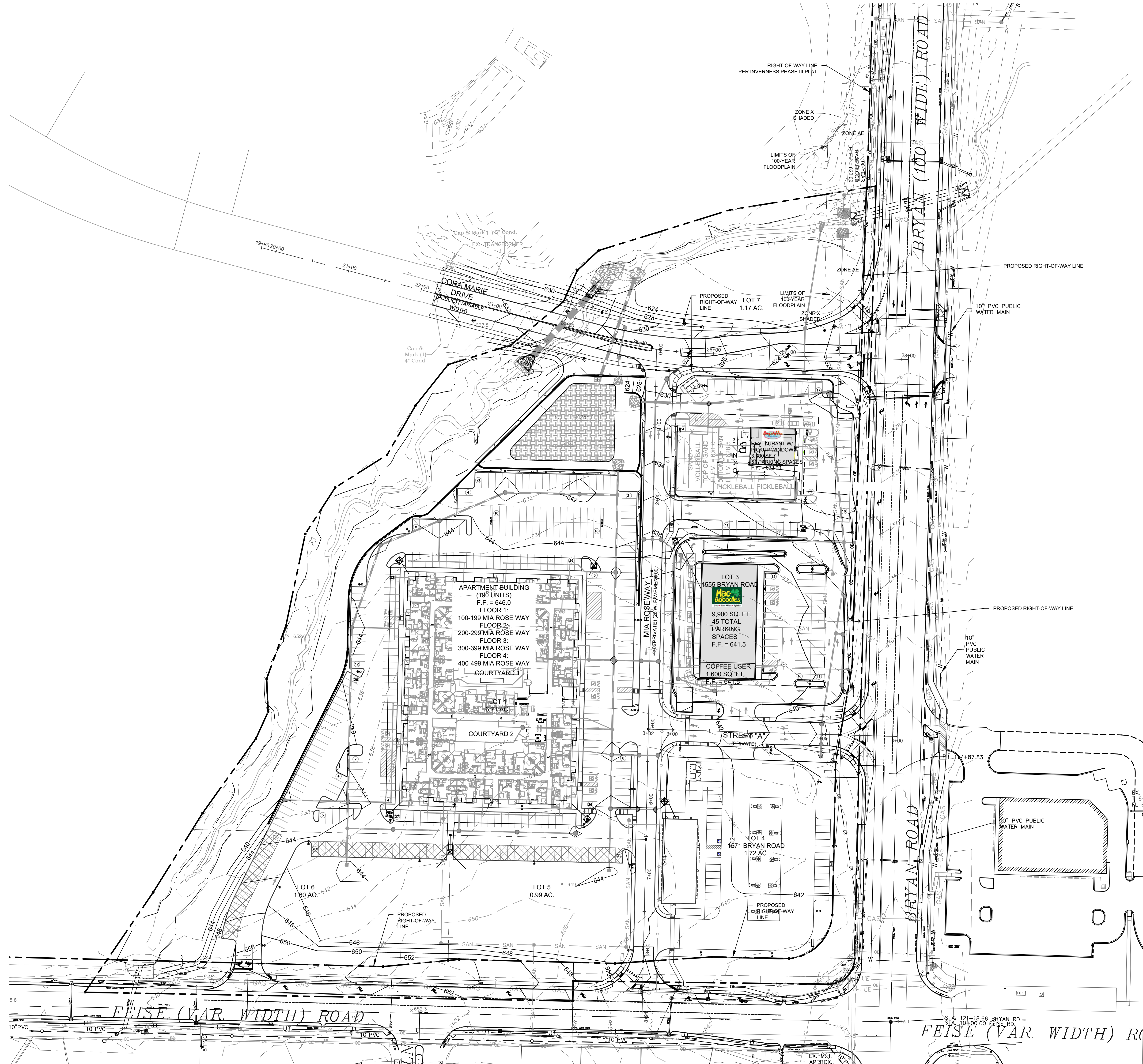
Project No:	22-0113	
No	Description	Date
1	City Comments	06/07/23
2	Amended Plan	01/02/24

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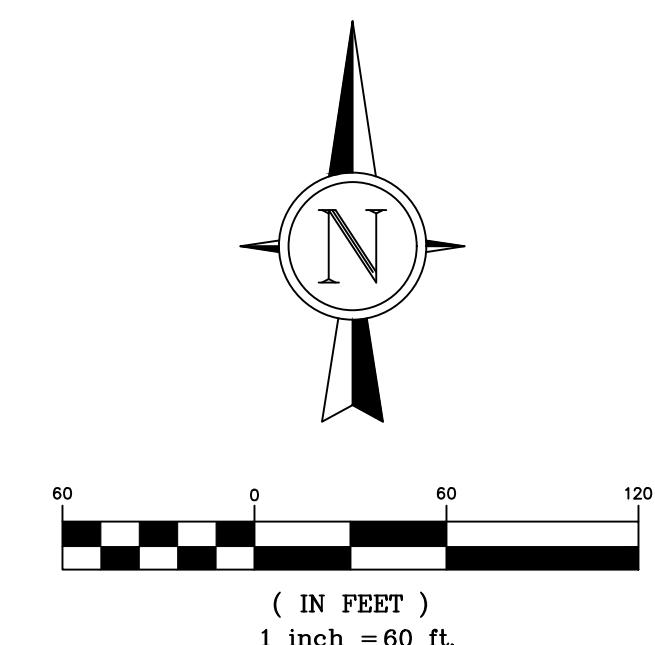


01/02/2024
 Sean M. Ackley
 M.O.# PE-2009018679
 DATE: 5/3/2023
 SCALE: 1"=60'

OVERALL
 GRADING
 PLAN
 C400



NOTE:
 CONTOURS ON FINAL CONSTRUCTION DOCUMENTS WILL
 REFLECT DETAILED GRADING AND SPOT ELEVATIONS.



ITEMS SCHEDULED FOR
 DEMOLITION HAVE BEEN
 REMOVED FOR CLARITY

KEYED NOTES

1. SANITARY SEWER (ALL SANITARY SEWERS ARE 8" PVC PER DUCKETT STANDARDS)
2. SANITARY MANHOLE
3. AERIAL CREEK CROSSING PER DUCKETT CREEK STANDARDS
4. BORE BRYAN ROAD PER DUCKETT CREEK STANDARDS
5. BORE FEISE ROAD PER DUCKETT CREEK STANDARDS
6. STORM SEWER
7. CURB INLET
8. 2-GRATE INLET
9. FLARED END SECTION/END OF PIPE W/ LIGHT STONE REVETMENT
10. PRE-CAST BOX CULVERT
FINAL DESIGN PER CALCULATIONS IN FLOOD STUDY TO BE PERFORMED BY ENGINEER.
11. HEAVY STONE REVETMENT
12. BIORETENTION SOIL MEDIA
13. WATER LINE PER PWS#2 STANDARDS
14. 16" PUBLIC WATER MAIN RELOCATION
15. HYDRANT PER OF'FALLON FIRE PROTECTION DISTRICT
16. ELECTRIC LINE PER AMEREN STANDARDS
17. ELECTRIC TRANSFORMER PER AMEREN STANDARDS
18. ELECTRIC PULLBOX PER AMEREN STANDARDS
19. TAP EXISTING GAS MAIN PER SPIRE STANDARDS.
ALIGNMENT TO BE DETERMINED. SPIRE TO INSTALL
20. LIGHT STONE REVETMENT
21. BORE 8" WATER MAIN UNDER BRYAN ROAD
PER PWS#2 STANDARDS

ENGINEUNITY
BUILDING VALUE
BY DESIGN
17057 N. OUTER FORTY ROAD
CHESTERFIELD, MO 63005
P: (314) 819-9189
WWW.THEENGINEUNITY.COM
MEMBER COMPANY OF AIA - CERT. # 62021017524



PREPARED FOR:
MIA ROSE HOLDINGS
CONTACTS: TOM KAIMAN
JIM COOK

**THE PRAIRIE ENCORE
AMENDED P.U.D. FINAL PLAN**
1575 BRYAN ROAD
DARDENNE PRAIRIE, MISSOURI 63366

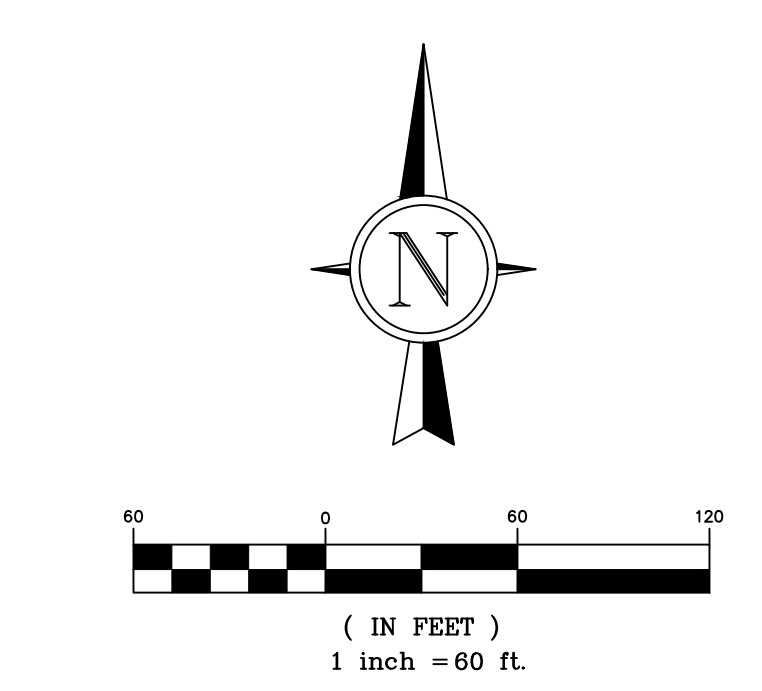
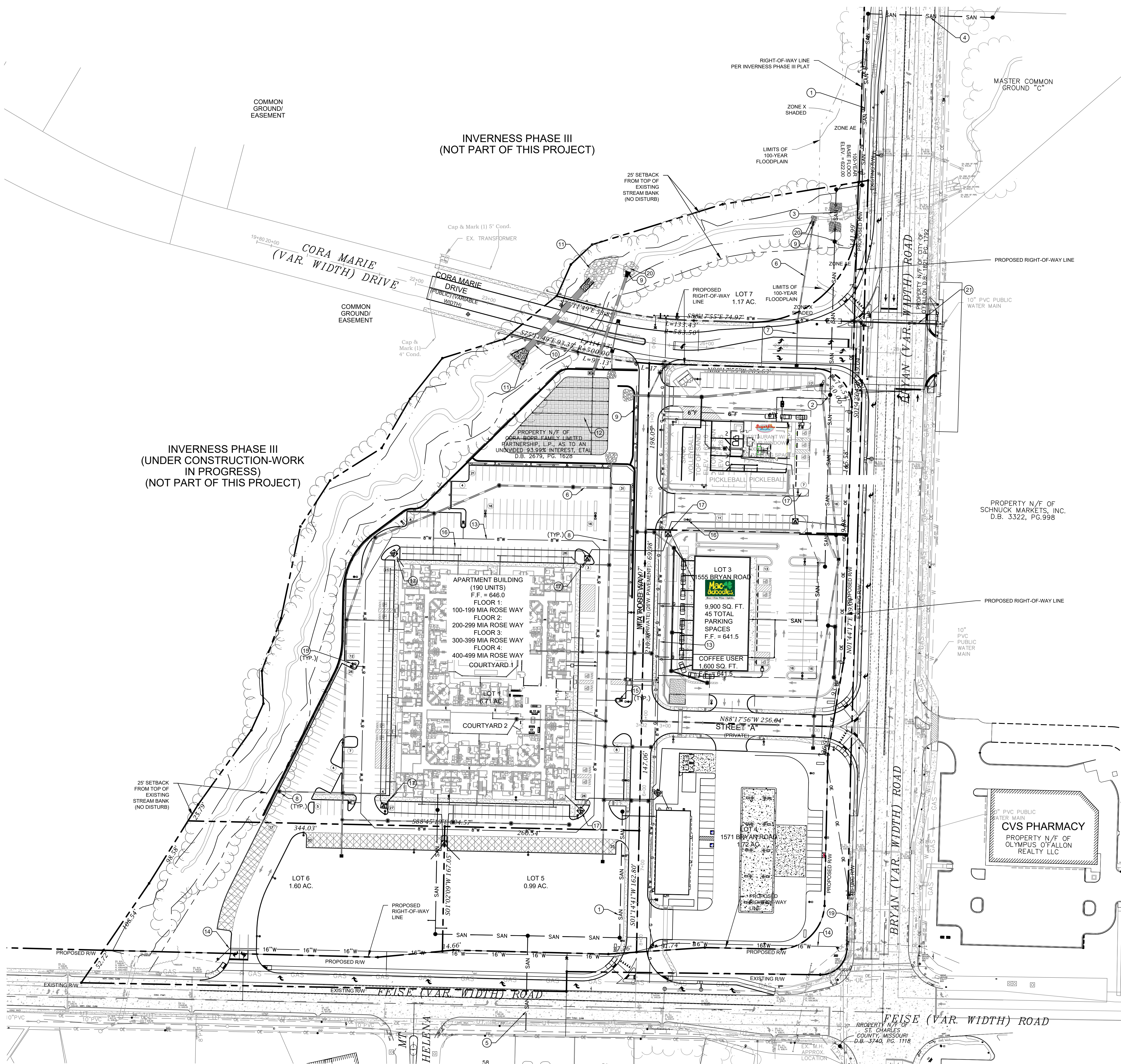
Project No:	22-0113	
No	Description	Date
1	City Comments	06/07/23
2	Amended Plan	01/02/24

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01/02/2024
Sean M. Ackley
MO# PE-2009018679
DATE: 5/3/2023
SCALE: 1"=60'

OVERALL
UTILITY PLAN
C500



ITEMS SCHEDULED FOR
DEMOLITION HAVE BEEN
REMOVED FOR CLARITY



Project No:	22-0113	
No	Description	Date
1	City Submittal	12/05/23

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12/05/2023
 Sean M. Ackley
 MO# PE-2009018679

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DATE: 11/08/2023
 SCALE: 1"=60'

STORMWATER
 MANAGEMENT
 PLAN
 C600

ACCORDING TO THE CROSS SECTION PROVIDED ON FEMA MAP, 100-YEAR FLOOD ELEVATION IS 622. FUTURE HYDRAULIC STUDY TO CONFIRM THIS ELEVATION AND FLOOD PLAIN LINE WILL BE DELINEATED AT THAT TIME.

INVERNESS PHASE III
 (NOT PART OF THIS PROJECT)

INVERNESS PHASE III
 (UNDER CONSTRUCTION-WORK
 IN PROGRESS)
 (NOT PART OF THIS PROJECT)

DRAINAGE AREA TABLE

STORM EVENT		PI FACTOR			
IMPERVIOUS AREA (15-YEAR, 20-MINUTE) =		3.54			
PERVIOUS AREA (15-YEAR, 20-MINUTE) =		1.70			
IMPERVIOUS AREA (100-YEAR, 20-MINUTE) =		4.77			
IMPERVIOUS AREA (15 YEAR, 20-MINUTE) =		2.29			
DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA	Q-15 (CFS)	Q-100 (CFS)
A (ON-SITE DETENTION)	10.42	1.84	12.25	40.00	53.89
B (DOUBLE 60" CULVERT UNDER BRYAN)	0.48	3.37	3.85	7.43	10.01
C (OFFSITE ROADWAY DRAINAGE)	1.05	0	1.42	3.72	5.01

DIFFERENTIAL RUNOFF CALCULATIONS
 EXISTING = 30.41 CFS
 PROPOSED = 51.33 CFS
 + 20.92 CFS

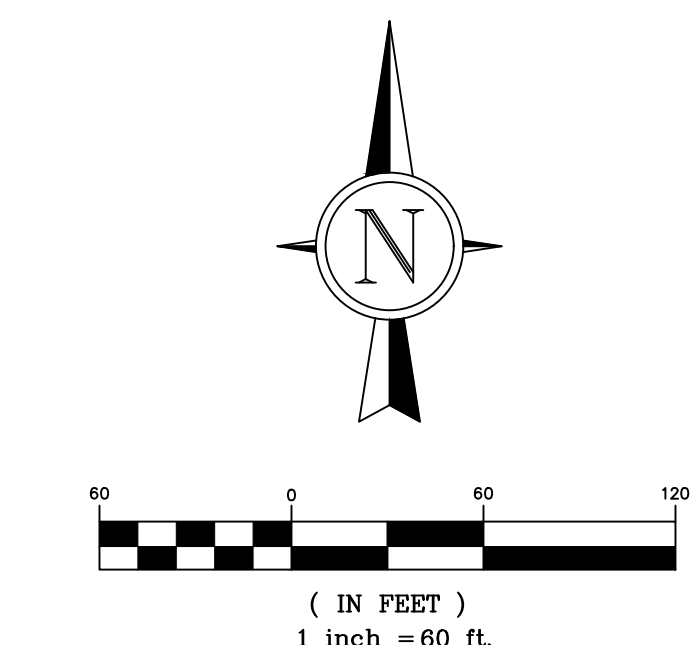
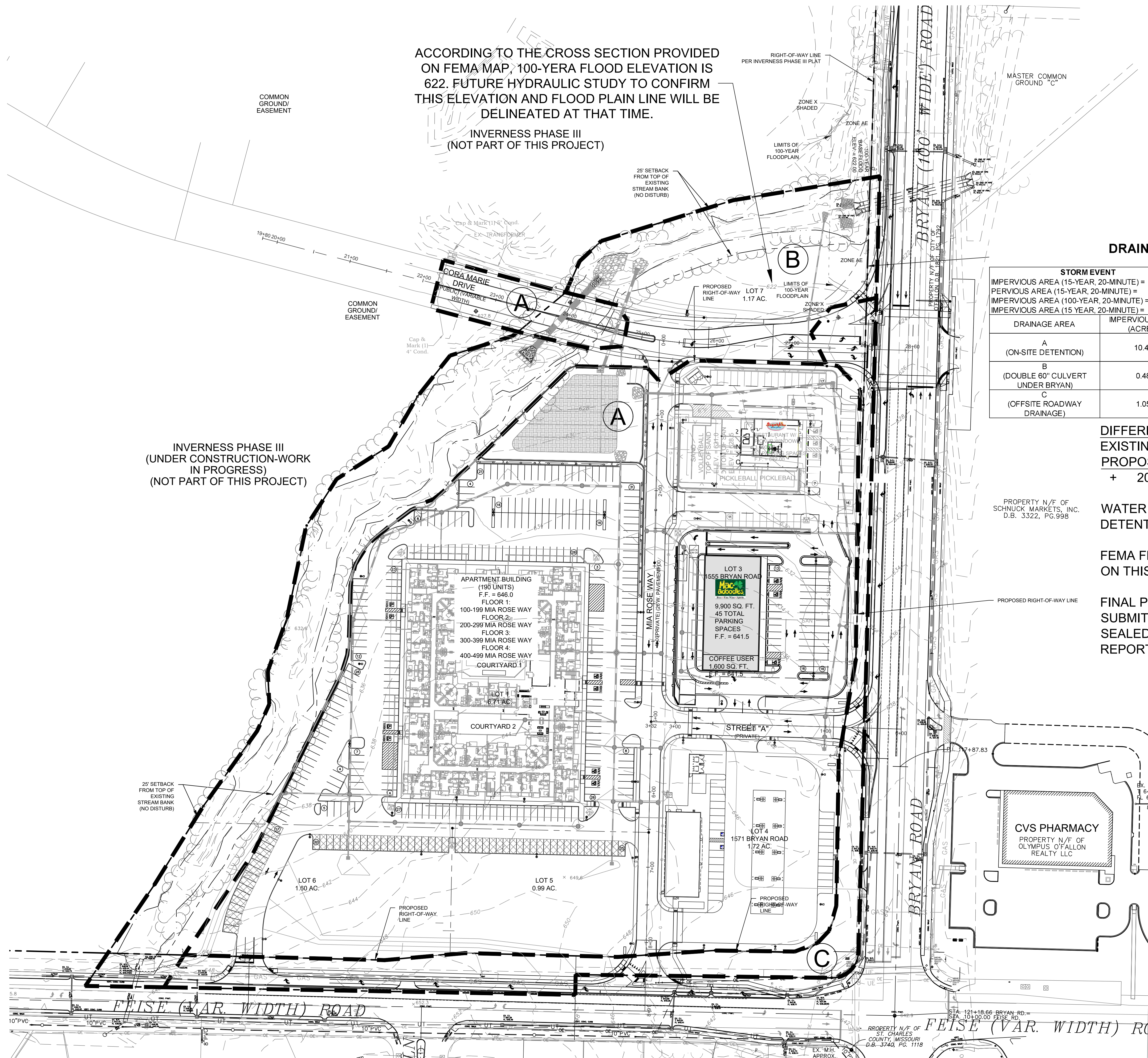
WATER QUALITY AND STORMWATER
 DETENTION ARE REQUIRED

FEMA FLOOD ZONE HAZARD AREAS SHOWN
 ON THIS PLAN PER FEMA MAP 29183C0240G

FINAL PLAN AND CONSTRUCTION DOCUMENT
 SUBMITTALS WILL REQUIRE A SIGNED AND
 SEALED STORMWATER MANAGEMENT
 REPORT.

PROPERTY N/F OF
 SCHNUCK MARKETS, INC.
 D.B. 3322, PG.998

PROPOSED RIGHT-OF-WAY LINE



ITEMS SCHEDULED FOR
 DEMOLITION HAVE BEEN
 REMOVED FOR CLARITY

PRELIMINARY PLAN- NOT FOR CONSTRUCTION

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 P: (314) 819-9189
 WWW.THEENGUITY.COM
 MISSOURI LICENSE # 17254



PREPARED FOR:
MIA HOLDINGS
 CONTACTS: TOM KAIMAN
 JIM COOK

THE PRAIRIE ENCORE
 AMENDED P.U.D. FINAL PLAN
 1575 BRYAN ROAD
 DARDENNE PRAIRIE, MISSOURI 63366

No	Description	Date
1	City Comments	06/07/23
2	Amended Plan	01/02/24

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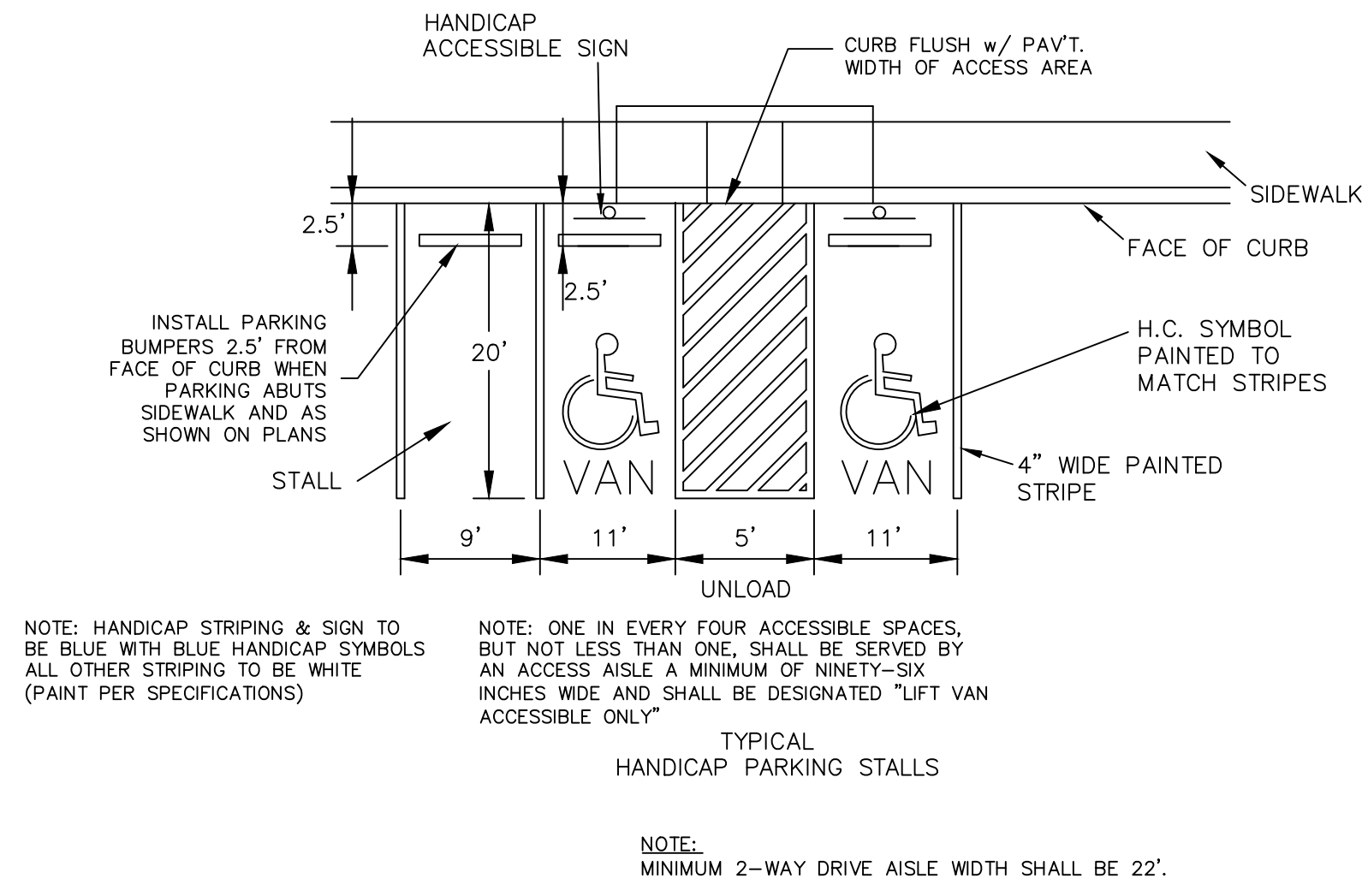
01/02/2024
 Sean M. Ackley
 MO# PE-2009018679

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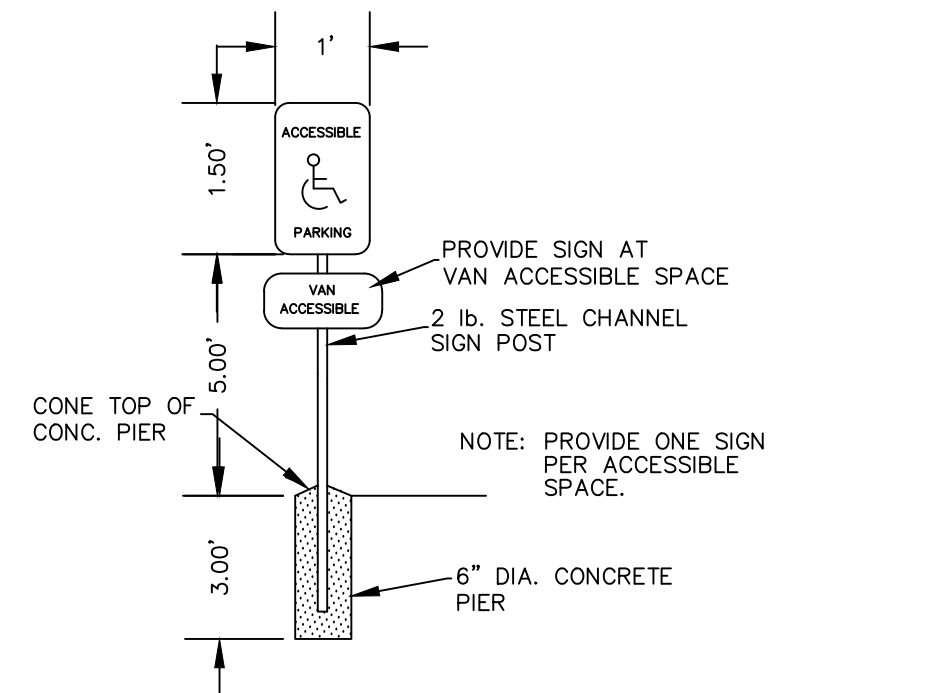
DATE: 5/3/2023
 SCALE: NOT TO SCALE

**CONSTRUCTION
 DETAILS & TYPICAL
 SECTIONS**

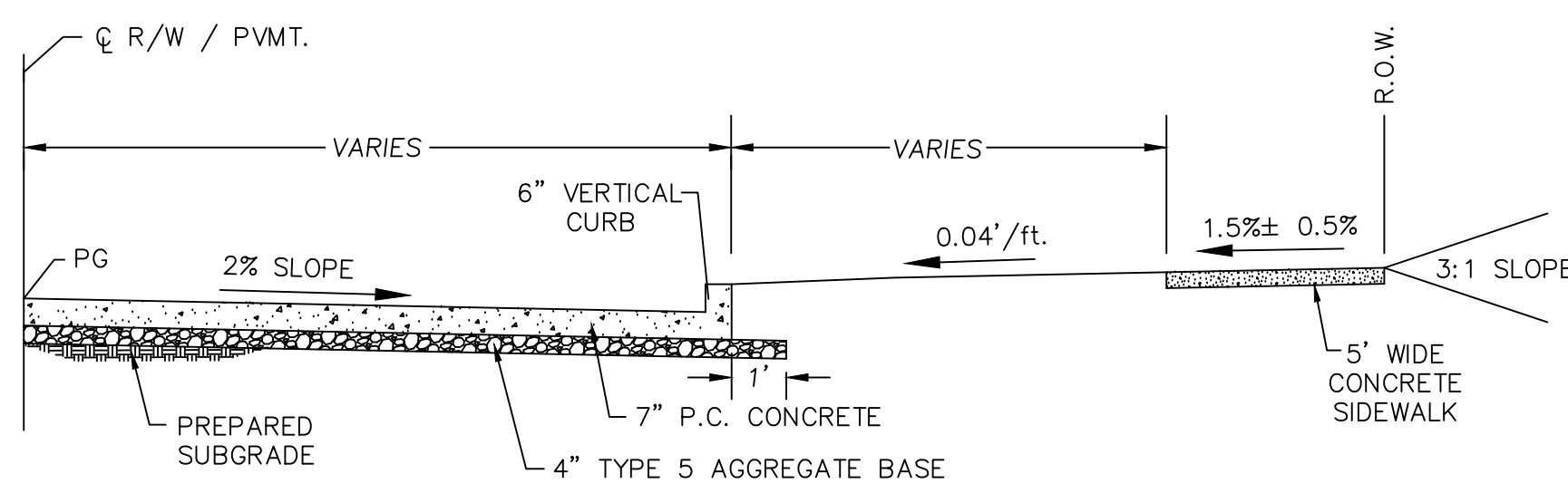
C700



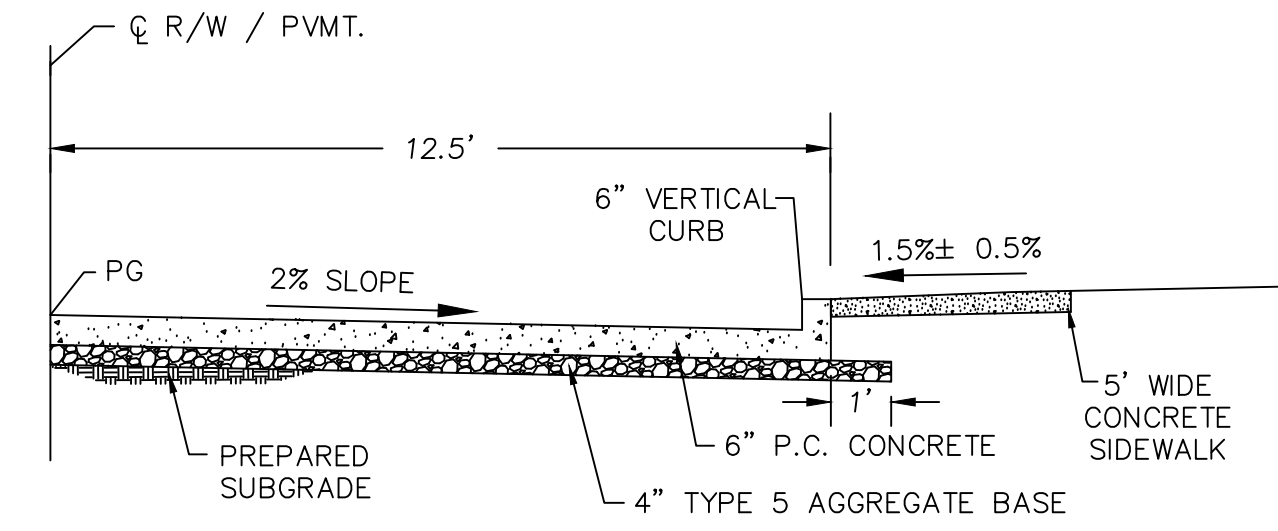
2 PARKING SPACE DETAIL
 NOT TO SCALE



1 ACCESSIBLE PARKING SIGN DETAIL
 NOT TO SCALE



3 CORA MARIE TYPICAL PAVEMENT SECTION
 NOT TO SCALE



4 PRIVATE DRIVE TYPICAL SECTION
 NOT TO SCALE



**THE PRAIRIE ENCORE
 AMENDED P.U.D. FINAL PLAN**
 1575 BRYAN ROAD
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
No	Description	Date
1	City Comments	06/07/23
2	Amended Plan	01/02/24

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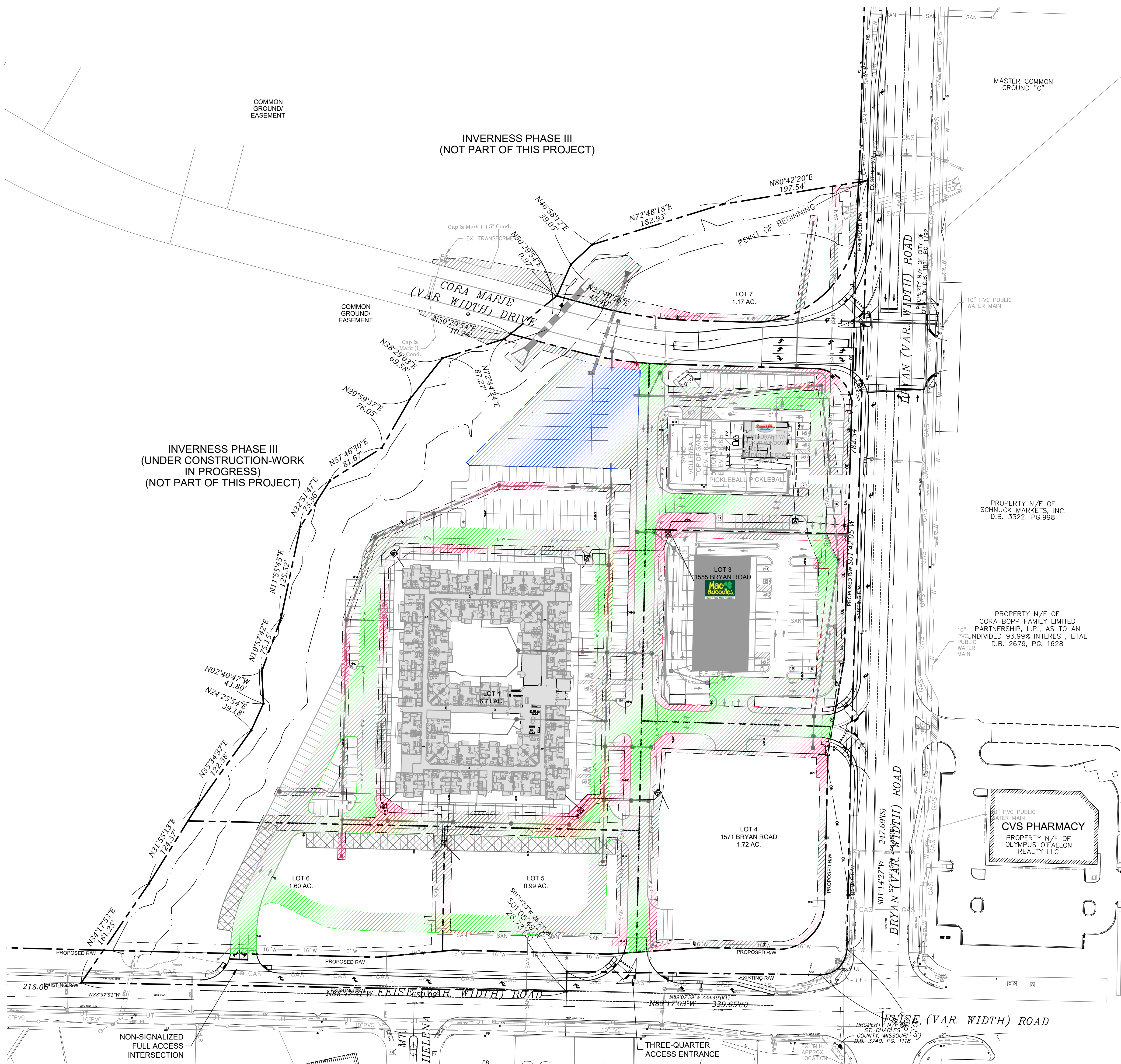
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DATE: 5/3/2023
 SCALE: 1"=60'

DEDICATION &
 RESERVATION EXHIBIT

C800



EASEMENT LEGEND

- CROSS ACCESS & UTILITY EASEMENTS
- UTILITY EASEMENTS
- DRAINAGE AND DETENTION ACCESS EASEMENTS
- PUBLIC ROADWAY RIGHT OF WAY TO BE DEDICATED
- PROPOSED SHARED PARKING

ALL UTILITIES WITHIN HATCHED EASEMENT AREAS TO BE PROPOSED AS PUBLIC

(IN FEET)
 1 inch = 60 ft.

NON-SIGNALIZED FULL ACCESS INTERSECTION

THREE-QUARTER ACCESS ENTRANCE

PROPERTY N/F OF ST. CHARLES COUNTY, MISSOURI D.B. 3740, PG. 1118

PROPERTY N/F OF SCHNUCK MARKETS, INC. D.B. 3322, PG.998

PROPERTY N/F OF CORA BOFF FAMILY LIMITED PARTNERSHIP, L.P., AS TO AN UNDIVIDED 93.99% INTEREST, ETAL D.B. 2679, PG. 1628

10" PVC PUBLIC WATER MAIN
 CVS PHARMACY
 PROPERTY N/F OF OLYMPUS O'FALLON REALTY LLC

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 BUILDING VALUE
 BY DESIGN
 17057 N. OUTER FORTY ROAD
 CHESTERFIELD, MO 63005
 P: (314) 819-9189
 WWW.THEENGENUITY.COM
 MEMBER CORPORATION OF AIAH-CERTY
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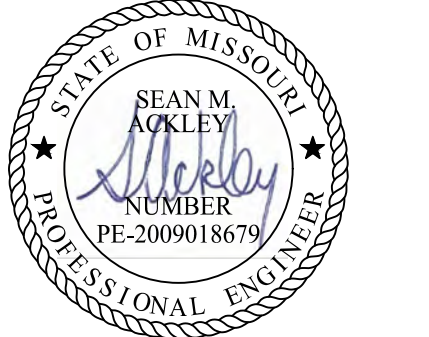


PREPARED FOR:
MIA ROSE HOLDINGS
 CONTACTS: TOM KAIMAN
 JIM COOK

**THE PRAIRIE ENCORE
 AMENDED P.U.D. FINAL PLAN**
 1575 BRYAN ROAD
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
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1	City Comments	06/07/23
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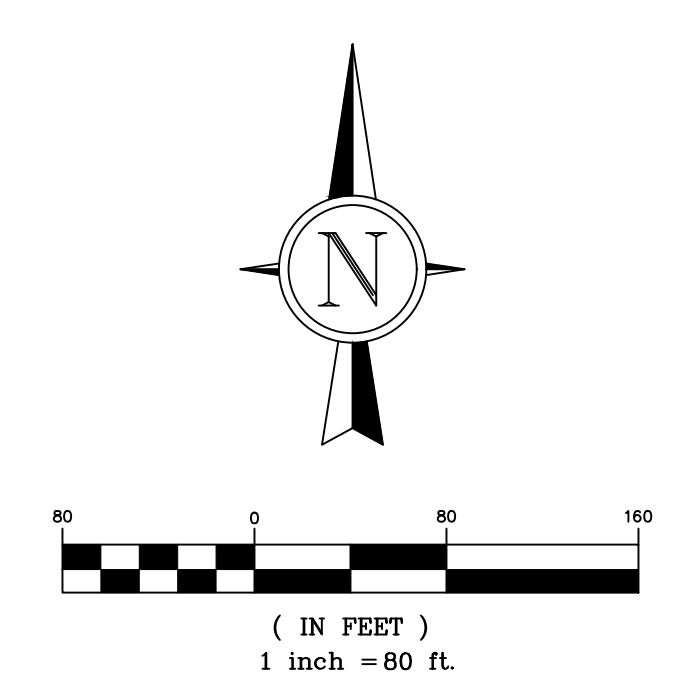
DATE: 5/3/2023
 SCALE: 1"=80'

ZONING &
 BOUNDARY EXHIBIT

C900



MUNICIPAL, FIRE, SCHOOL AND UTILITY DISTRICT
 BOUNDARY LINES ARE PER AVAILABLE RECORD
 INFORMATION



REVISIONS	BY
11/30/2022	RVM
3/8/2023	RVM
11/17/2023	RVM
11/28/2023	RVM

LandscapE TECHNOLOGIES

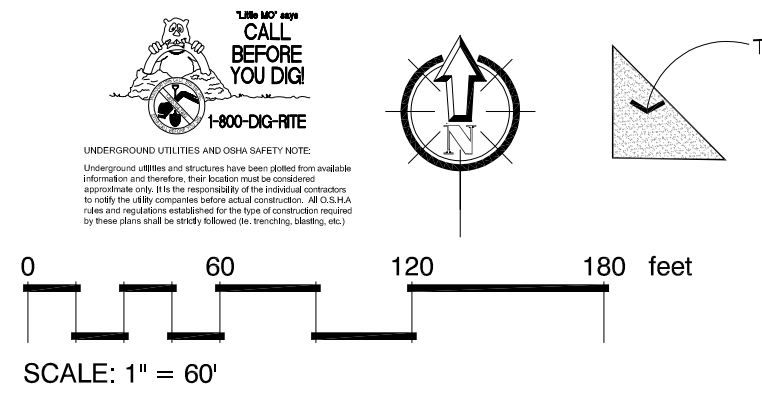
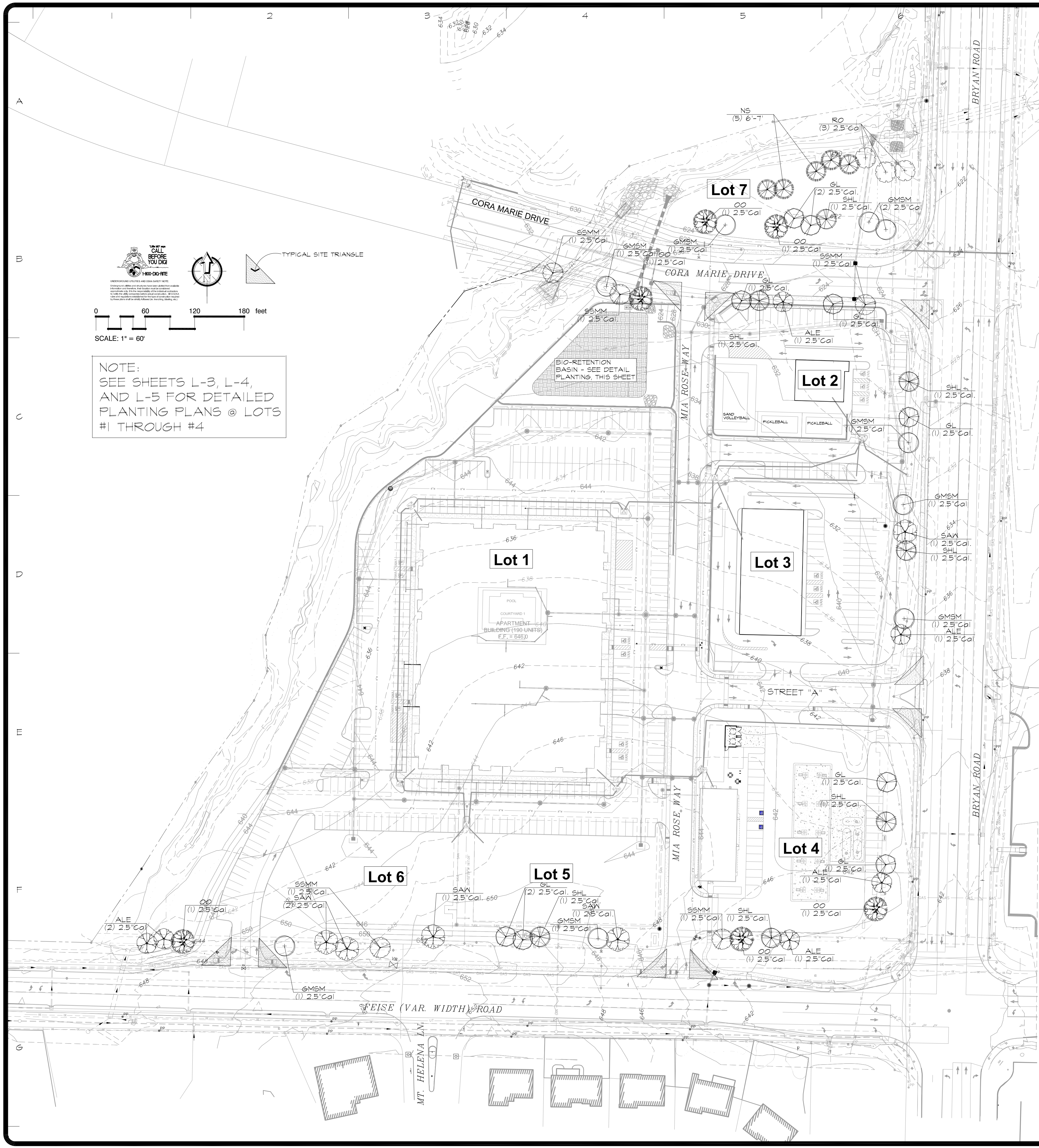
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

MISSOURI

MARCUS NUMBER 019

DATE: 11/28/2023

RANDALL A. MARDIS (636) 428-2300
817 Jacobs Creek Drive, Suite 100
St. Louis, MO 63114
www.landscapetechnologies.com



NOTE:
SEE SHEETS L-3, L-4,
AND L-5 FOR DETAILED
PLANTING PLANS @ LOTS
#1 THROUGH #4

SITE DATA CALCULATIONS:

STREET TREES:
STREET TREES ARE REQUIRED AT A MINIMUM OF ONE TREE PER 60 LIN. FT. OF FRONTAGE OR PART THEREOF

FRONTAGE ALONG LOT #1- CORA MARIE DR. = 190.41 LIN. FT. THEREFORE, FOUR (4) TREES ARE REQUIRED AND PROPOSED

FRONTAGE ALONG LOT #2- CORA MARIE DR. / BRYAN RD. = 446.95 LIN. FT. THEREFORE, EIGHT (8) TREES ARE REQUIRED AND PROPOSED

FRONTAGE ALONG LOT #3- BRYAN RD. = 284.02 LIN. FT. THEREFORE, FIVE (5) TREES ARE REQUIRED AND PROPOSED

FRONTAGE ALONG LOT #4- FEISE RD. / BRYAN RD. = 525.50 LIN. FT. THEREFORE, NINE (9) TREES ARE REQUIRED AND PROPOSED

FRONTAGE ALONG LOT #5- FEISE RD. = 260.18 LIN. FT. THEREFORE, FIVE (5) TREES ARE REQUIRED AND PROPOSED

FRONTAGE ALONG LOT #6- FEISE RD. = 454.12 LIN. FT. THEREFORE, EIGHT (8) TREES ARE REQUIRED AND PROPOSED

FRONTAGE ALONG LOT #7- FEISE RD. = 140.50 LIN. FT. THEREFORE, THREE (3) TREES ARE REQUIRED AND EIGHT (8) PROPOSED

LANDSCAPE CREDITS:
OPEN SPACE IS CALCULATED AS FOLLOWS:
TOTAL LOT MINUS AREA OF BUILDING FOOTPRINT = AREA OF OPEN SPACE
OPEN SPACE SQ. FT. x 20% or 40% = # CREDIT POINTS REQUIRED

ALL LOTS OF 40% OR MORE OPEN SPACE MUST HAVE A MINIMUM TOTAL SQ. FT. OF LANDSCAPE CREDITS EQUAL TO 10% OF THE TOTAL OPEN SPACE
ALL LOTS OF 40% OR LESS OPEN SPACE MUST HAVE A MINIMUM TOTAL SQ. FT. OF LANDSCAPE CREDITS EQUAL TO 20% OF THE TOTAL OPEN SPACE

- LOT #1: 6.71 ACRES or 292,453 SQ. FT. 114,563 SQ. FT. OPEN SPACE OR 39% OF TOTAL LOT, REQUIRING 22,913 CREDITS 24,607 CREDITS PROVIDED
- LOT #2: 137 ACRES or 59,677 SQ. FT. 8,712 SQ. FT. OPEN SPACE OR 14.6% OF TOTAL LOT, REQUIRING 1742 CREDITS 7,064 CREDITS PROVIDED
- LOT #3: 153 ACRES or 66,966 SQ. FT. 13,100 SQ. FT. OPEN SPACE OR 19.8% OF TOTAL LOT, REQUIRING 262 CREDITS 7,334 CREDITS PROVIDED
- LOT #4: 1.72 ACRES or 74,998 SQ. FT. 13,504 SQ. FT. OPEN SPACE OR 18.00% OF TOTAL LOT, REQUIRING 2,700 CREDITS 9,404 CREDITS PROVIDED
- LOT #5 - UNDEVELOPED PROPERTY
- LOT #6 - UNDEVELOPED PROPERTY
- LOT #7 - UNDEVELOPED PROPERTY
- ALL STREET TREES + ADDITIONAL TREES @ LOT 7: FIFTY FIVE (55) TREES TOTAL, 16,500 CREDITS PROVIDED

PLANT SCHEDULE: STREET TREES

TREES	QTY	COMMON / BOTANICAL NAME	SIZE
ALE	6	Athena Lacebark Elm / Ulmus parvifolia 'Emer 1'	2.5' Cal
GMSM	4	Green Mountain Sugar Maple / Acer saccharum 'Green Mountain'	2.5' Cal
GL	4	Greenspire Littleleaf Linden / Tilia cordata 'Greenspire'	2.5' Cal.
SSMM	5	Miyabei Maple / Acer miyabei 'State Street'	2.5' Cal.
OO	6	Overcup Oak / Quercus lyrata	2.5' Cal.
SAW	5	Sawtooth Oak / Quercus acutissima	2.5' Cal.
SHL	7	'Skyline' Locust / Gleditsia triacanthos 'Skyline'	2.5' Cal.

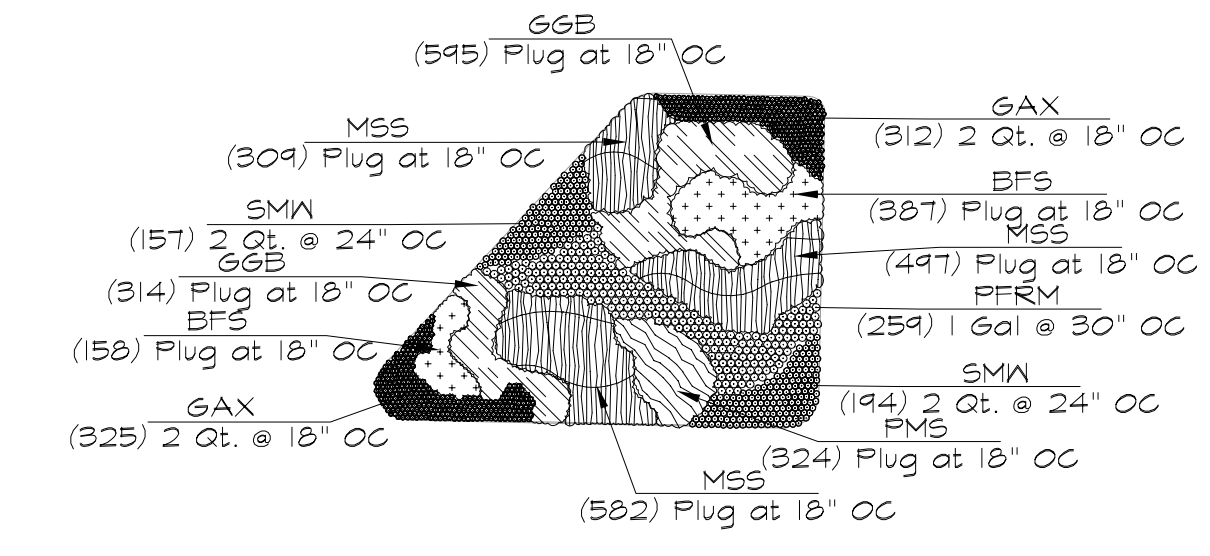
PLANT SCHEDULE: ADDITIONAL ON LOT 7

TREES	QTY	COMMON / BOTANICAL NAME	SIZE
NS	5	Norway Spruce / Picea abies	6'-7'
RO	3	Red Oak / Quercus rubra	2.5' Cal

PLANT SCHEDULE: BIO-RETENTION AREAS

FORBS	QTY	COMMON / BOTANICAL NAME	SIZE
GAX	637	GOLDEN ALEXANDER / ZIZIA AUREA	2 QT. @ 18" OC
PPRM	259	PARTY FAVOR ROSE MALLOW / HIBISCUS LASIOCARPUS	1 GAL @ 30" OC
SMA	351	SWAMP MILKWEED / ASCLEPIAS INCARNATA	2 QT. @ 24" OC

NATIVE GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
	545	BROWN FOX SEDGE / CAREX VULPINOIDEA	PLUG AT 18" OC
	404	GREAT GREEN BULRUSH / SCIRPUS ATROVIRENS	PLUG AT 18" OC
	1388	MORNING STAR SEDGE / CAREX GRAYI	PLUG AT 18" OC
	324	PALM SEDGE / CAREX MUSKINGUMENSIS	PLUG AT 18" OC



BIO-RETENTION PLANTING PLAN
SCALE: 1"=60'-0"

OVERALL STREET TREE + BIO-RETENTION PLANTING PLAN:

Prairie Encore

BRYAN @ FEISE ROADS DARDENNE PRAIRIE, MISSOURI

DRAWN: R. MARDIS
CHECKED: RAMMEL
DATE: 10/3/2022
SCALE: 1"=60'-0"
JOB No. 2022-169
SHEET

L-1

OF FIVE SHEETS

LANDSCAPE GUIDELINE SPECS:

GENERAL:

- Base map information is accurate as of the date of drawing printed in this package.
- It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- The contractor shall be in compliance with all codes applicable to this work.
- Clean all planting beds of debris, rock, building material, etc. prior to adding / spreading topsoil or mulch.
- All annual and/or perennial beds are to be rototilled to a depth of 12" and amended with peat moss or organic material prior to planting. All grass and/or weeds shall be killed / removed from new planting beds of any kind.
- Remove all debris and rock in parking lot islands shall be removed / disposed and new topsoil provided to a depth of 6" with a berm 4" higher than the adjacent curbing.
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public. The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Any damage to the existing improvements shall be the responsibility of the contractor. It shall be the responsibility of the contractor to restore all areas of the site where disturbed by said contractor. Refer to additional drawings for further coordination of work to be done.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - Plant material shall be typical in shape and form for species specified. Plants planted in groupings and masses shall also be matched. Container grown plant material shall not be root-bound and balled-and-burlapped material shall have root balls as dictated by American Standard for Nursery Stock.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
 - Provide single-stem trees unless otherwise noted in plant schedule.
 - All plant material shall comply with the recommendations and requirements of ANSI Z601 "American Standards for Nursery Stock".
 - It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
 - Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
 - All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
 - Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
 - All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
 - Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
 - All substitutions of plant material shall be submitted to landscape architect for approval.
 - Tree protection fencing is to be installed prior to any grading operations and inspected daily / maintained in place until completion of the project.
 - No parking storage of materials or any other construction activities are to occur within tree protection areas.

PRUNING:

- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- All pruning shall comply with ANSI A300 standards.

INSURANCE:

- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

MULCH:

- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafil fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
- Edge all beds with spade-cut edge unless otherwise noted.

MAINTENANCE:

- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
- Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
- Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.

SIGHT TRIANGLES:

- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
- Sight triangles at the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curbs lines a distance of 35' and connecting the points so established to form the sight triangle area.

TOPSOIL:

- Topsoil mix for all proposed landscape plant material (excluding turf areas) shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Rototill topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

MISC. MATERIAL:

- Provide stakes and deadmen of sound, new hardwood, free of knotholes and defects per planting details. Remove stakes and guying from all trees one year after planting.
- Tree wrap tape shall be 4" minimum, designed to prevent borer damage and winter freezing. Additionally, only 3-ply tying material shall be used.

EROSION CONTROL BLANKET (Where applicable):

- All seeded areas on slopes greater than 4:1 shall receive an erosion control blanket which shall consist of loose straw mat and anchor pins as manufactured by: Northern American Green, D5 T5 or approved equal. Install per manufacturer's recommendations.

PLUG PLANTING NOTES:

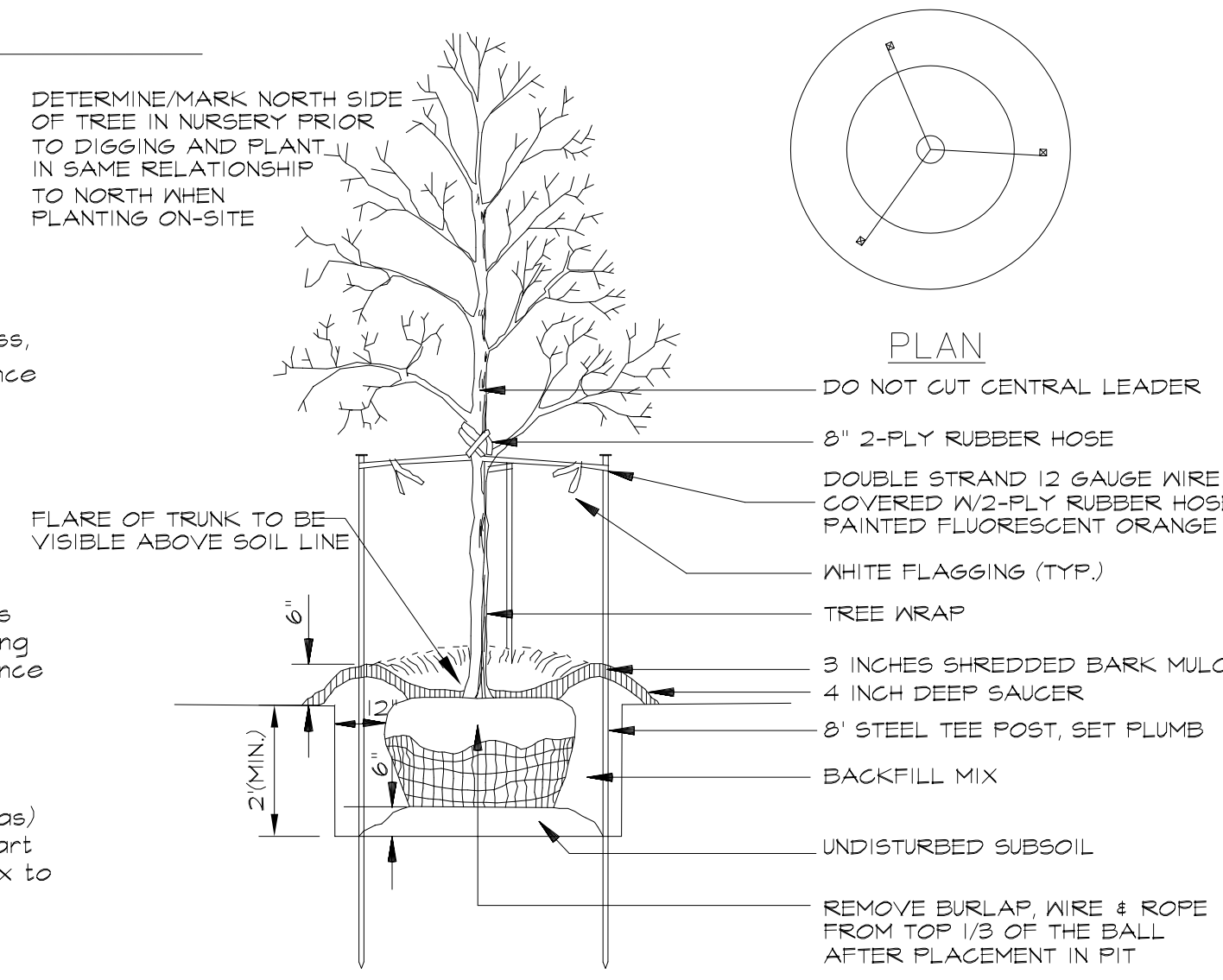
- All plugs to be 4-1/2" deep X 2" diameter minimum.
- Plugs are to be planted in a hole dug with a trowel, spade or planting bar such that the hole is of a minimum diameter and depth to accommodate the plug and its roots, without damage.
- Plugs shall be spaced in a triangulated layout approximately 24" on center. Plugs shall be planted through erosion control blanket where appropriate.
- Obtain plugs from a reputable nursery.
- Water plugs upon completion of planting so that soil is moist but not saturated.
- If planting is delayed more than six hours after delivery, store plugs in the shade, protect from weather and mechanical damage and keep them moist and cool. All plugs shall be planted within 24 hours after delivery.

WARRANTY:

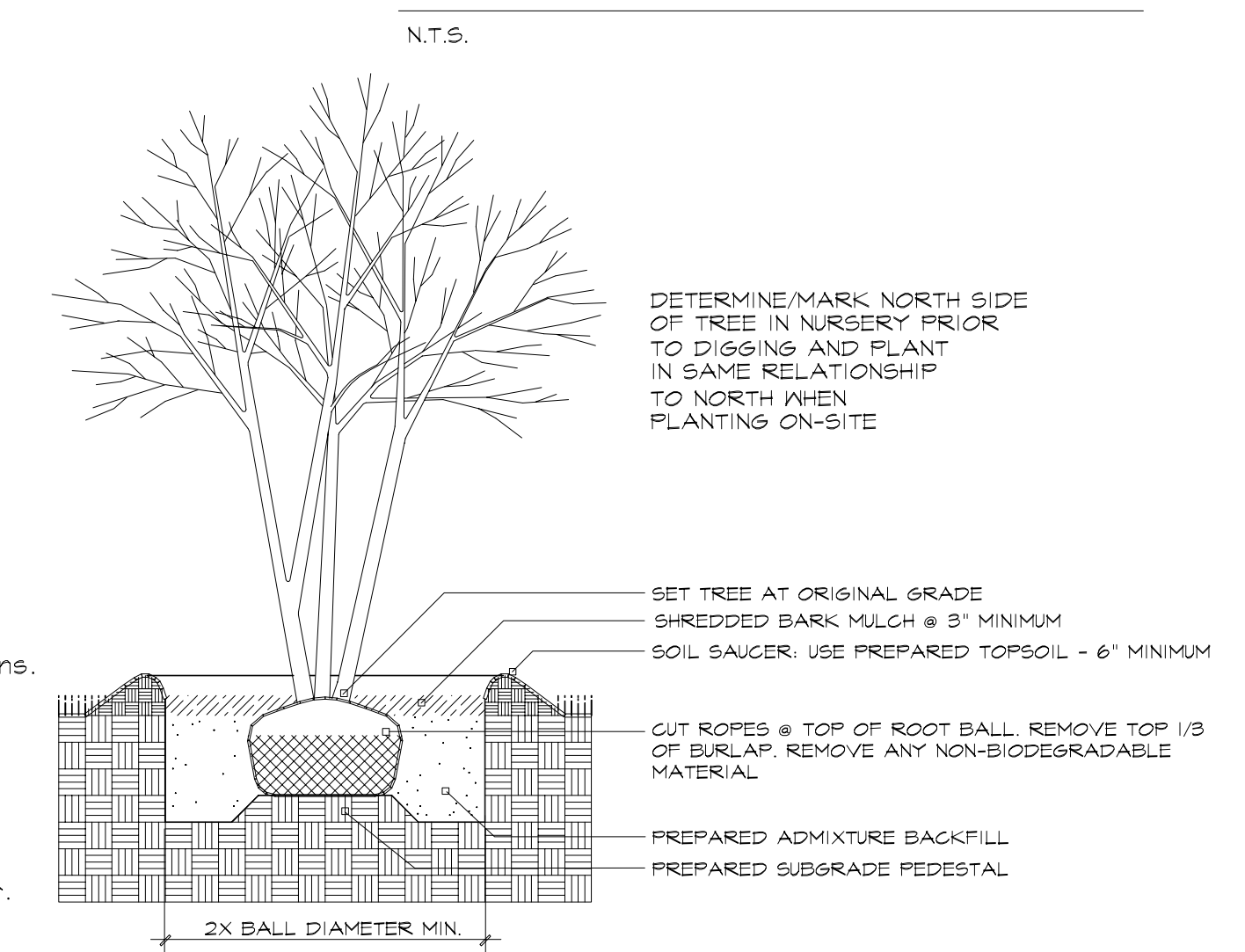
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price. All plant material deemed unhealthy, unsightly or having undue amounts of dead branches by the landscape architect shall be replaced under this warranty.
- Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- Only one replacement per tree or shrub shall be required at the end of the warranty period, unless less is due to failure to comply with the warranty.
- Landscape contractor shall not be liable due to acts of God or vandalism.
- Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- A written guarantee shall be provided to the owner per conditions outlined in #1 above.

TURF:

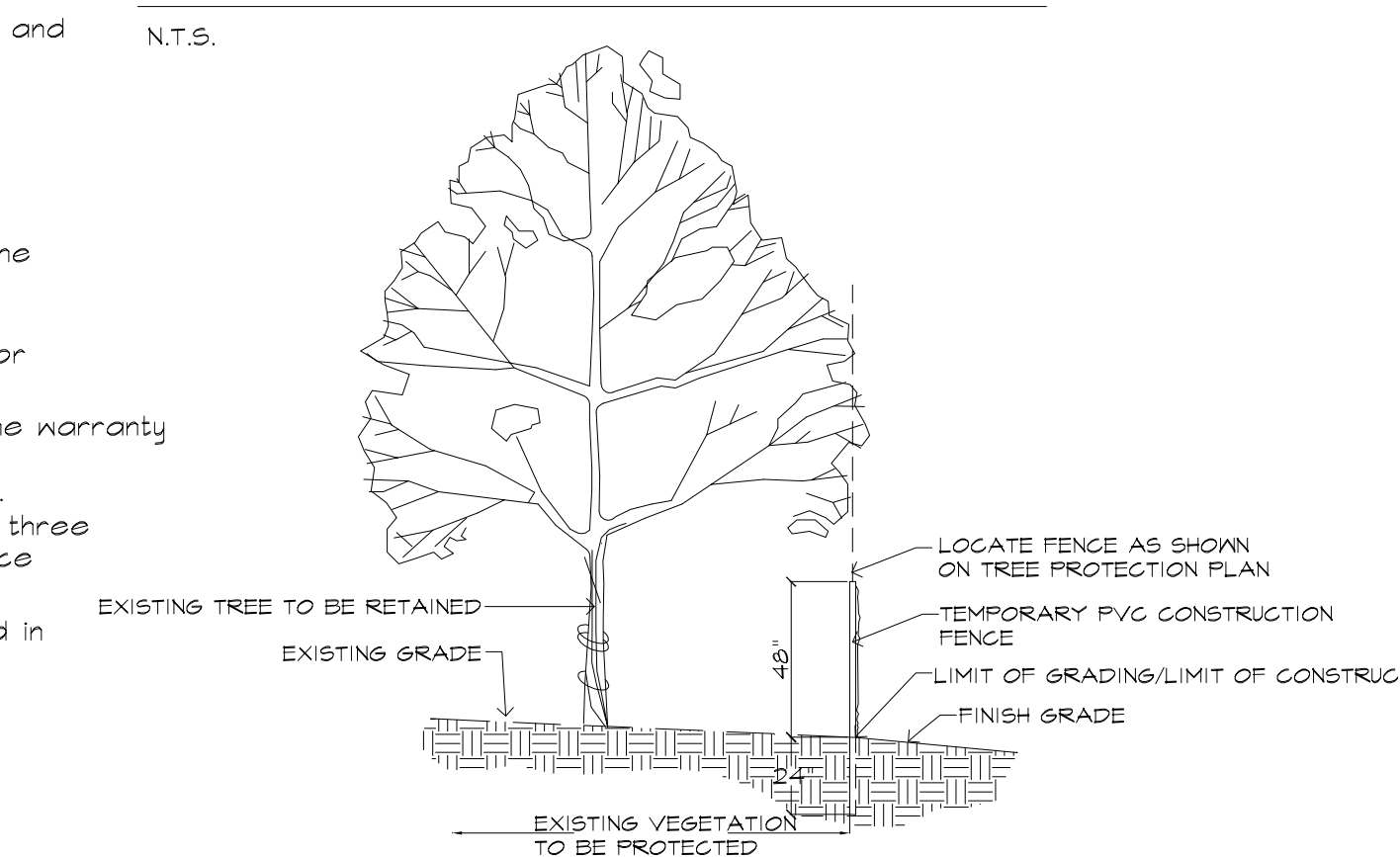
- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating. Granular or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorous and potassium in a 12-12-12 composition.
- The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners approval prior to seeding or sod installation.
- Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted. Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.



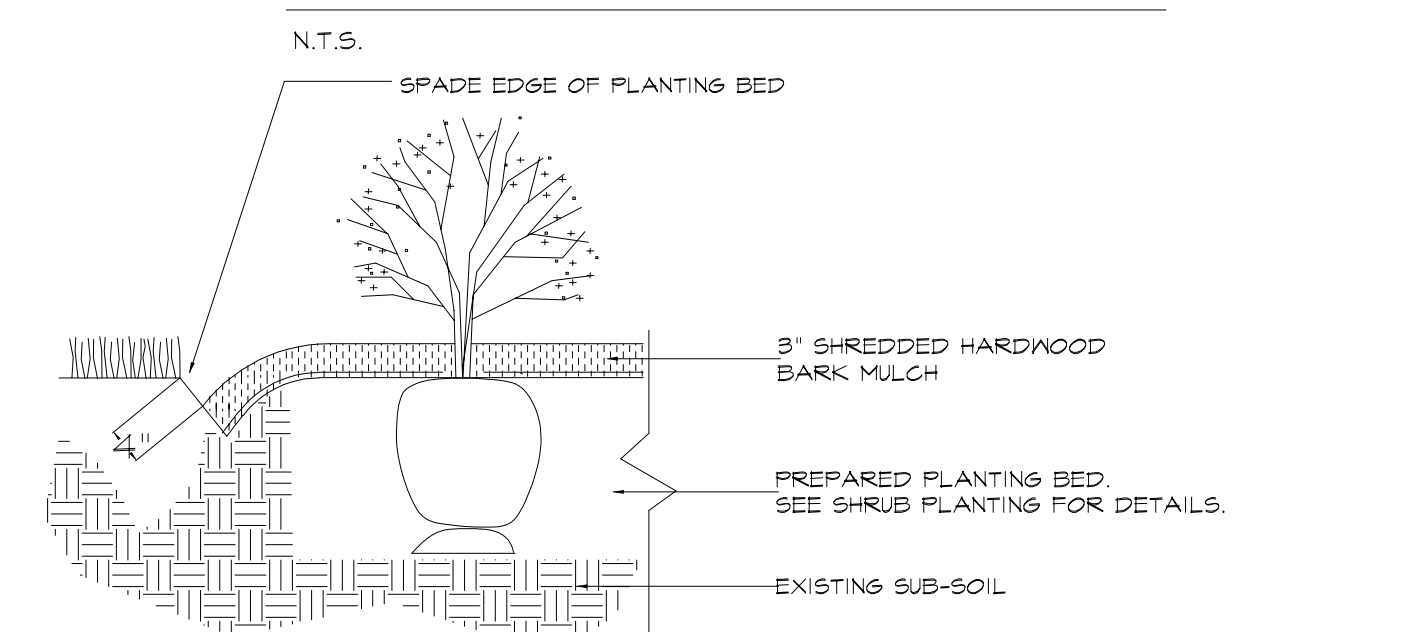
DECIDUOUS TREE PLANTING



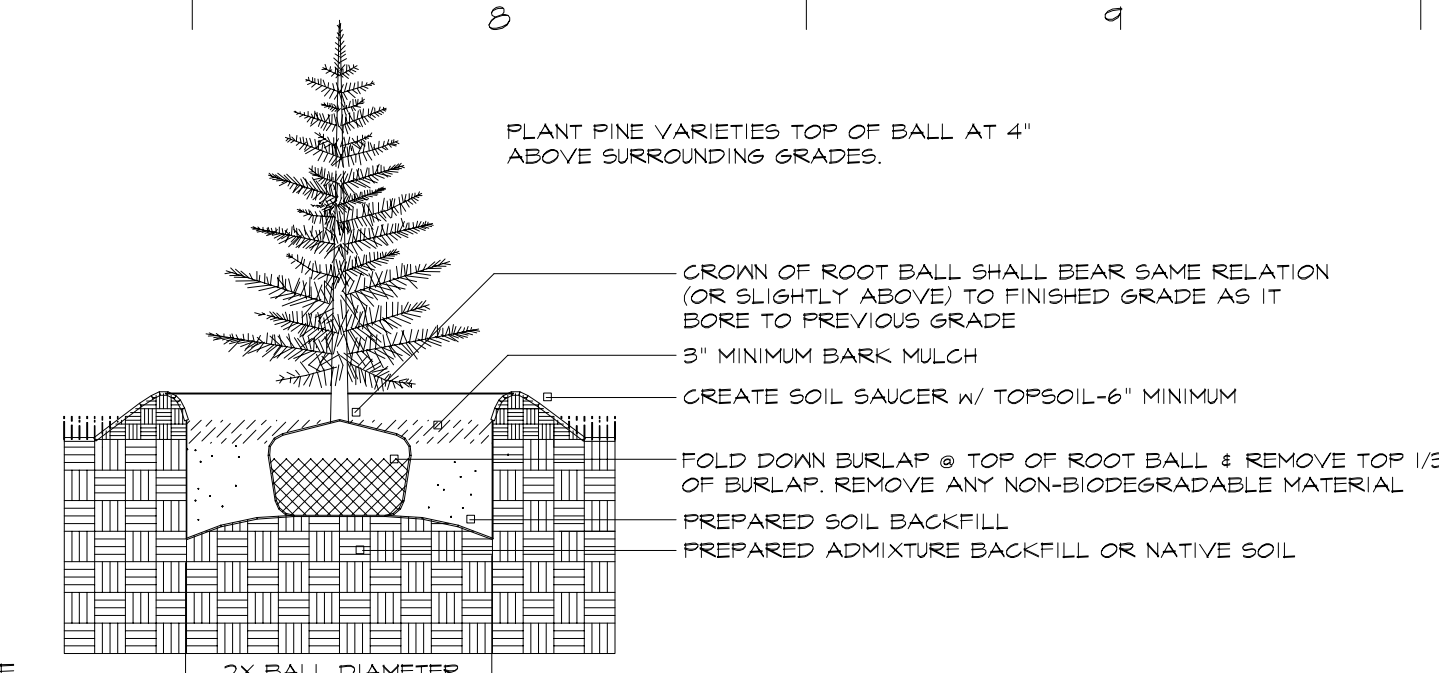
MULTI-STEM TREE PLANTING



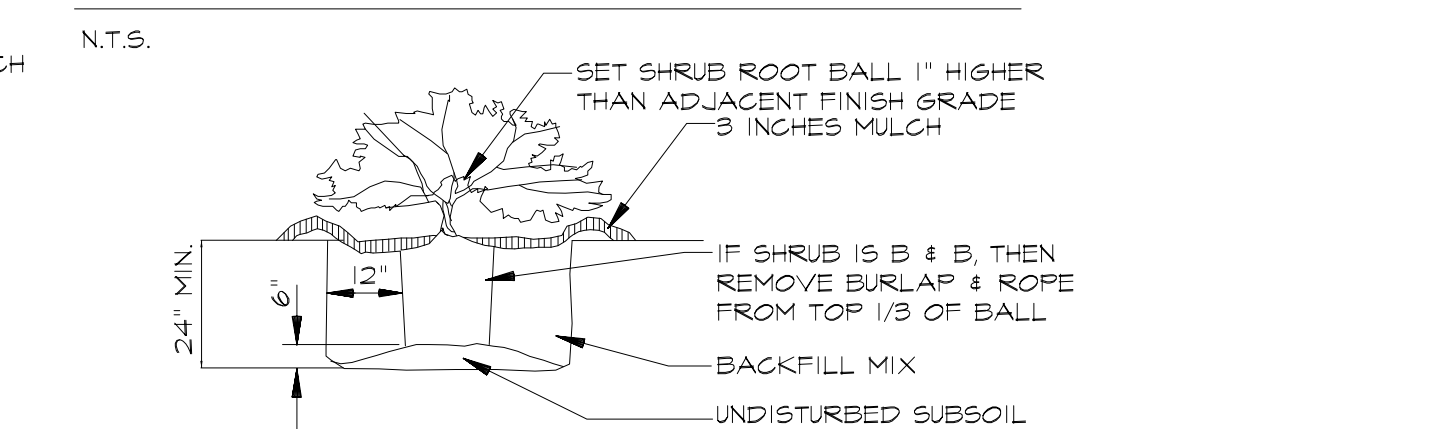
TREE PROTECTION DETAIL



SPADE-CUT EDGE DETAIL

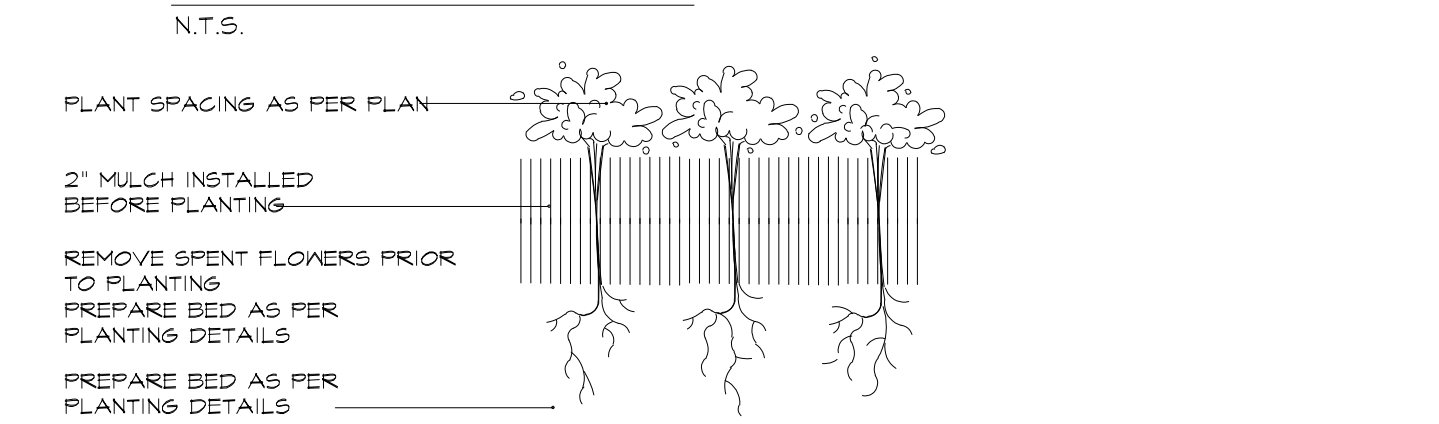


EVERGREEN TREE PLANTING

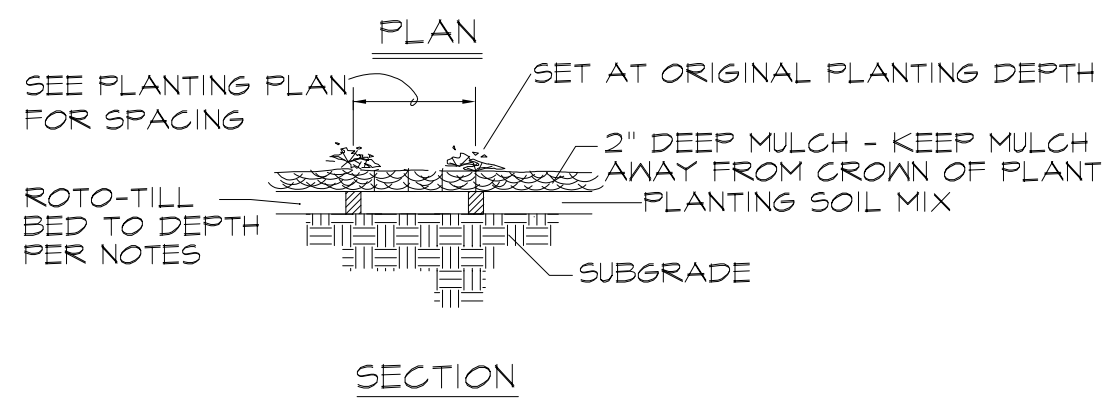
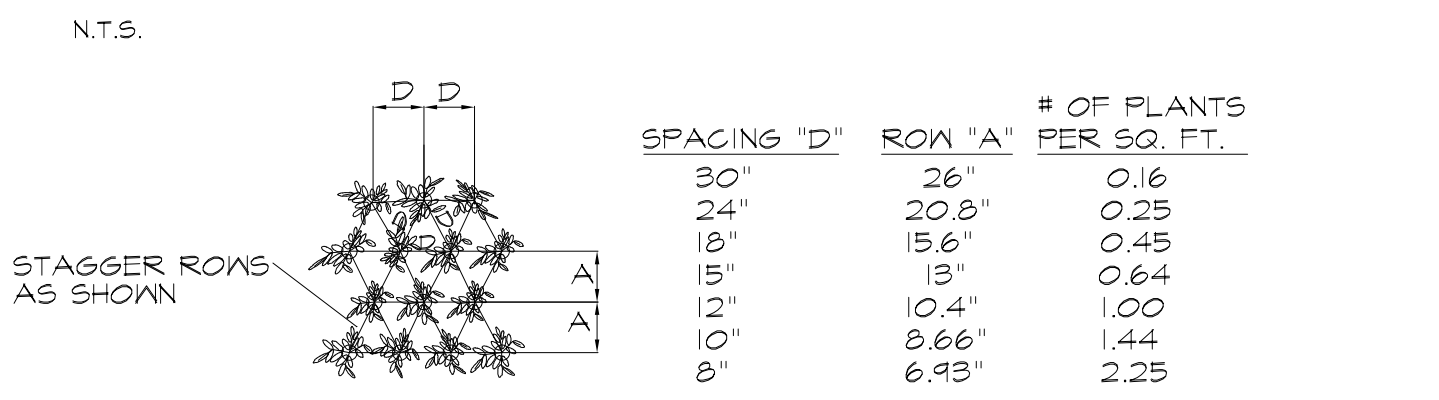


PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN / CRUMBLING ROOT BALLS WILL BE REJECTED.

SHRUB PLANTING



PERENNIAL / ANNUAL PLANTING



FORB/GRASS PLANTING DETAIL



REVISIONS	BY
11/30/2022	RVM
3/8/2023	RVM
11/17/2023	RVM
11/28/2023	RVM

Landscape TECHNOLOGIES

RANDALL A. MARDIS
1834 W. JACKSON DRIVE, SUITE 100
DARDENNE PRAIRIE, MISSOURI 63029-3092
PHONE: 636-428-1200
FAX: 636-428-1201
WWW.LANDSCAPETECHNOLOGIES.COM

REGISTERED MISSOURI LANDSCAPE ARCHITECT #000011

PLANTING DETAILS & GUIDELINE SPECS FOR:

Prairie Encore

BRYAN @ FEISE ROADS DARDENNE PRAIRIE, MISSOURI

DRAWN
R. MARDIS

CHECKED
RAMMEL

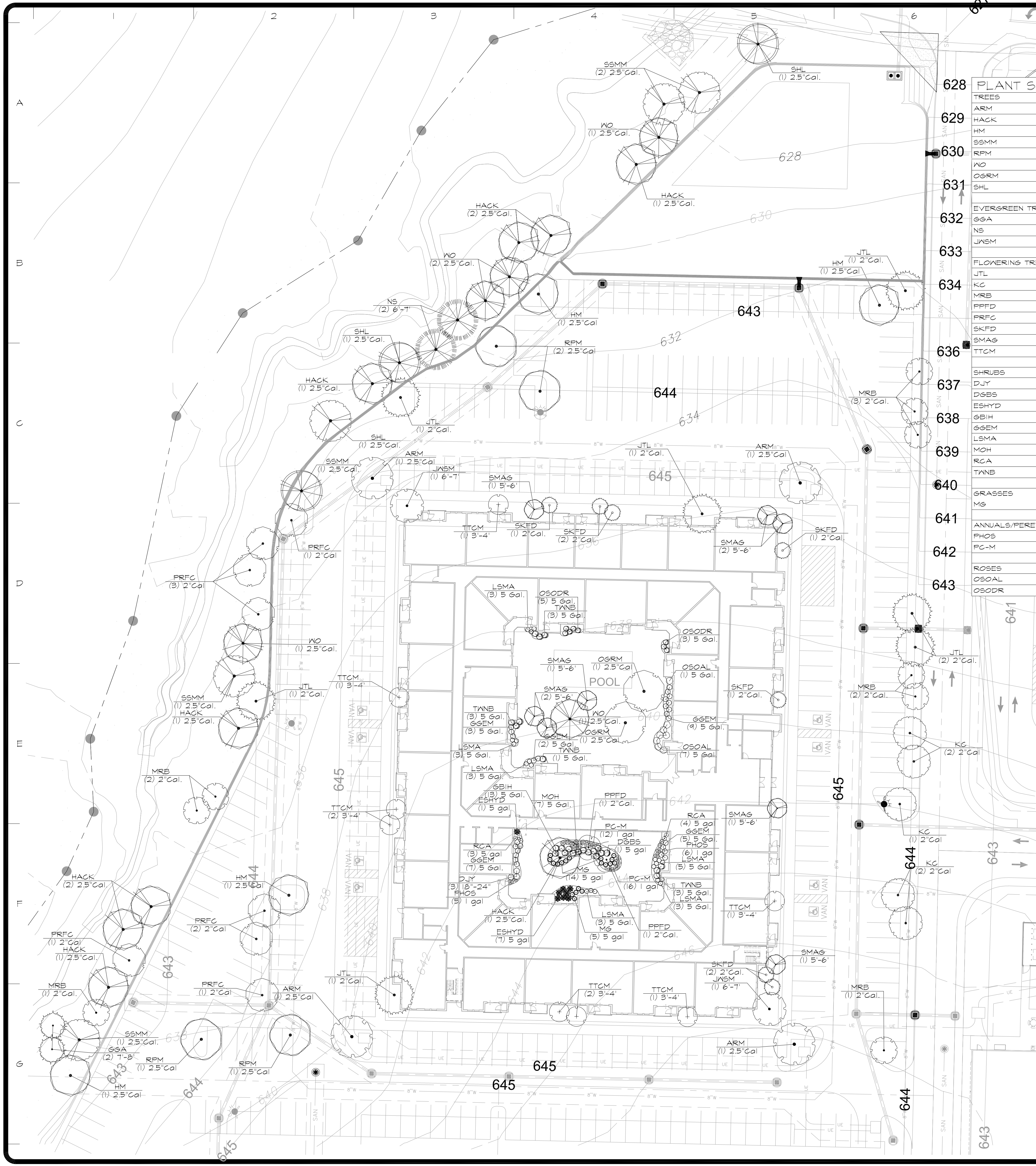
DATE
10/3/2022

SCALE
N.A.

JOB NO.
2022-164

SHEET
L-2

OF FIVE SHEETS



PLANT SCHEDULE: LOT 1

TREES	QTY	COMMON / BOTANICAL NAME	SIZE
ARM	4	Armstrong Red Maple / <i>Acer rubrum</i> 'Armstrong'	2.5' Cal
HACK	9	Common Hackberry / <i>Celtis occidentalis</i>	2.5' Cal.
HM	4	Hedge Maple / <i>Acer campestre</i>	2.5' Cal
SSMM	5	Miyobei Maple / <i>Acer miyobei</i> 'State Street'	2.5' Cal.
RPM	4	Redpointe Maple / <i>Acer rubrum</i> 'Frank Jr.'	2.5' Cal
NO	5	Willow Oak / <i>Quercus phellos</i>	2.5' Cal.
OGRM	2	'October Glory' Maple / <i>Acer rubrum</i> 'October Glory'	2.5' Cal.
SHL	3	Skyline Honeylocust / <i>Gleditsia triacanthos</i> 'Skyline'	2.5' Cal.
EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME	SIZE
GGA	2	Green Giant Arborvitae / <i>Thuja plicata</i> 'Green Giant'	7'-8'
NS	2	Norway Spruce / <i>Picea abies</i>	6'-7'
JJSM	2	Sweetbay Magnolia / <i>Magnolia virginiana</i> 'Jim Wilson'	6'-7'
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE
JTL	7	Ivory Silk Japanese Tree Lilac / <i>Syringa reticulata</i> 'Ivory Silk'	2' Cal.
KC	5	Kwanzan Cherry / <i>Prunus serrulata</i> 'Kwanzan'	2' Cal.
MRB	4	Merlot Redbud / <i>Cercis x Merlot</i>	2' Cal.
PPFD	2	Prairie Pink Flowering Dogwood / <i>Cornus florida</i> 'Prairie Pink'	2' Cal.
PRFC	6	Prairie Rose Crabapple / <i>Malus</i> 'Prairie Rose'	2' Cal.
SKFD	7	Samaritan Kousa Dogwood / <i>Cornus kousa</i> 'Samzam'	2' Cal.
SMAG	8	Saucer Magnolia / <i>Magnolia x soulangiana</i>	5'-6'
TTCM	8	Tonto Crape Myrtle / <i>Lagerstroemia fauriei</i> 'Tonto'	3'-4'
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
DJY	3	Dense Japanese Yew / <i>Taxus cuspidata</i> 'Densiflora'	18"-24"
DGBS	1	Dwarf Globe Blue Spruce / <i>Picea pungens</i> 'Glabosa'	5 gal
ESHYD	8	Endless Summer Hydrangea / <i>Hydrangea macrophylla</i> 'Endless Summer' TM	5 gal
GBIH	13	Gem Box Inkberry Holly / <i>Ilex glabra</i> 'Gem Box'	5 Gal.
GGEM	26	Green Gem Boxwood / <i>Buxus x Green Gem</i>	5 Gal.
LSMA	20	Low Scape Mound Chokeberry / <i>Aronia melanocarpa</i> 'Low Scape Mound'	5 Gal.
MOH	7	Munchkin Oakleaf Hydrangea / <i>Hydrangea quercifolia</i> 'Munchkin'	5 Gal.
RCA	7	Rose Creek Abelia / <i>Abelia x grandiflora</i> 'Rose Creek'	5 gal.
TANB	10	Tiny Wine Ninebark / <i>Physocarpus opulifolius</i> 'Tiny Wine'	5 Gal.
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
MG	19	Maiden Grass / <i>Miscanthus sinensis</i> 'Gracillimus'	5 gal
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE
PHOS	11	Patriot Hosta / <i>Hosta</i> 'Patriot'	1 gal
PC-M	28	Purple Coneflower / <i>Echinacea purpurea</i> 'Magnus'	1 gal
ROSES	QTY	COMMON / BOTANICAL NAME	SIZE
OSOAL	8	OSO Easy At Last Rose / <i>Rosa x OSO Easy At Last</i>	5 Gal.
OSODR	8	OSO Easy Double Rose / <i>Rosa x OSO Easy Double Rose</i>	5 Gal.

LANDSCAPE-LOT #1
SCALE: 1"=30'-0"

NOTE: SEE SHEET L-1 FOR STREET TREE PLANTING PLAN ADJACENT TO STREETS

TYPICAL SITE TRIANGLE

SCALE: 1" = 30'

REVISIONS	BY
11/30/2022	RVM
3/8/2023	RVM
11/17/2023	RVM
11/28/2023	RVM

Landscaping TECHNOLOGIES

87 Jacobs Creek Drive
St. Louis, MO 63114
903.281.2800
www.landscapingtechnologies.com

REGISTERED MISSOURI LANDSCAPE ARCHITECT #000019

RANDALL J. MARDIS
LANDSCAPE ARCHITECT
NUMBER 019
DATE: 11/28/2023

DETAILED PLANTING PLAN FOR LOT #1:
Prairie Encore
BRYAN @ FEISE ROADS DARDENNE PRAIRIE, MISSOURI

DRAWN: R. MARDIS
CHECKED: RANVEL
DATE: 10/3/2022
SCALE: 1"=30'-0"
JOB NO: 2022-164
SHEET: **L-3**
OF FIVE SHEETS

REVISIONS	BY
11/30/2022	RVM
3/8/2023	RVM
11/17/2023	RVM
11/28/2023	RVM

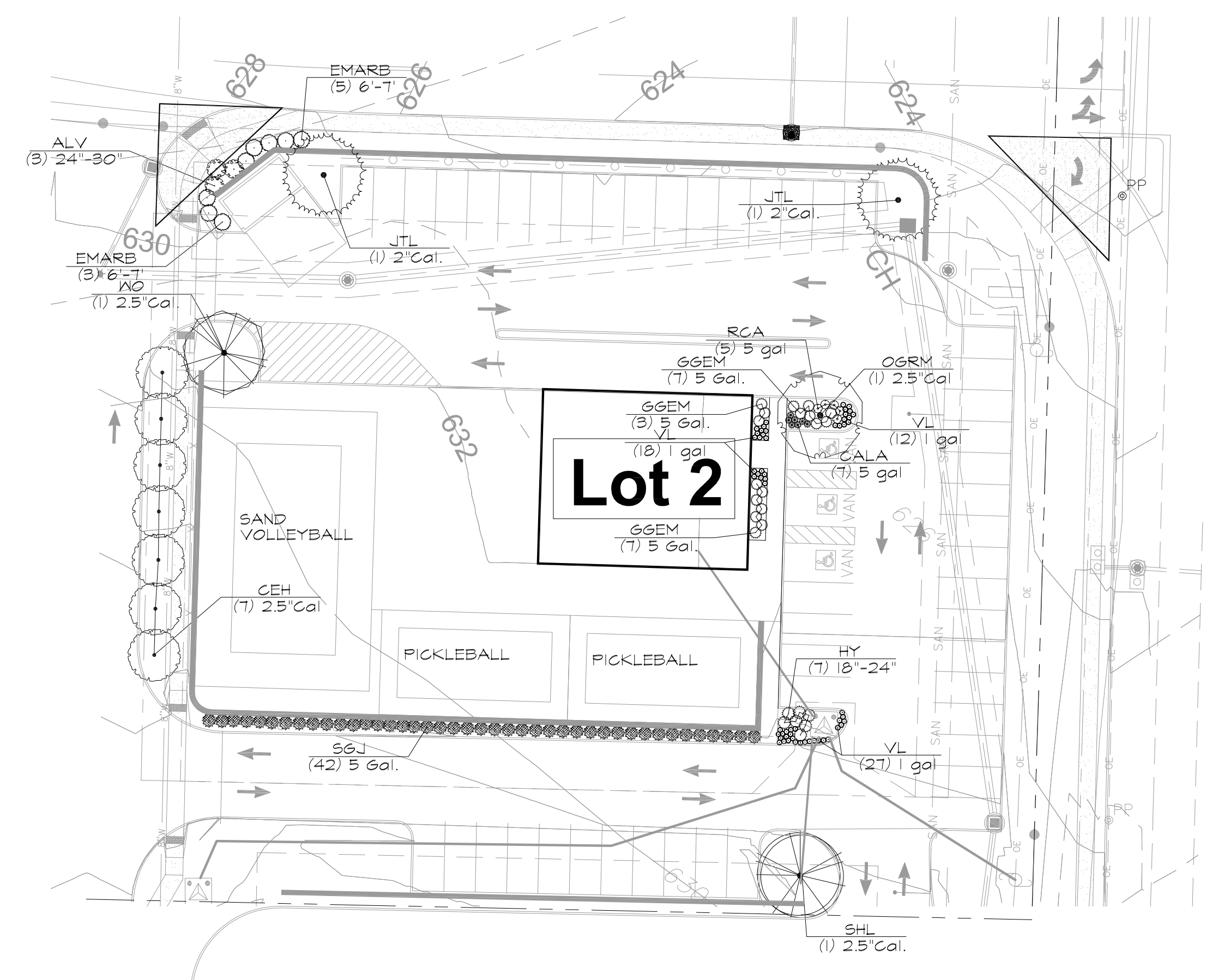
Encore Landscape Technologies

ARCHITECT

REGISTERED PROFESSIONAL ARCHITECT

RANDALL R. MARDIS
NUMBER 019
DATE 11/28/2023

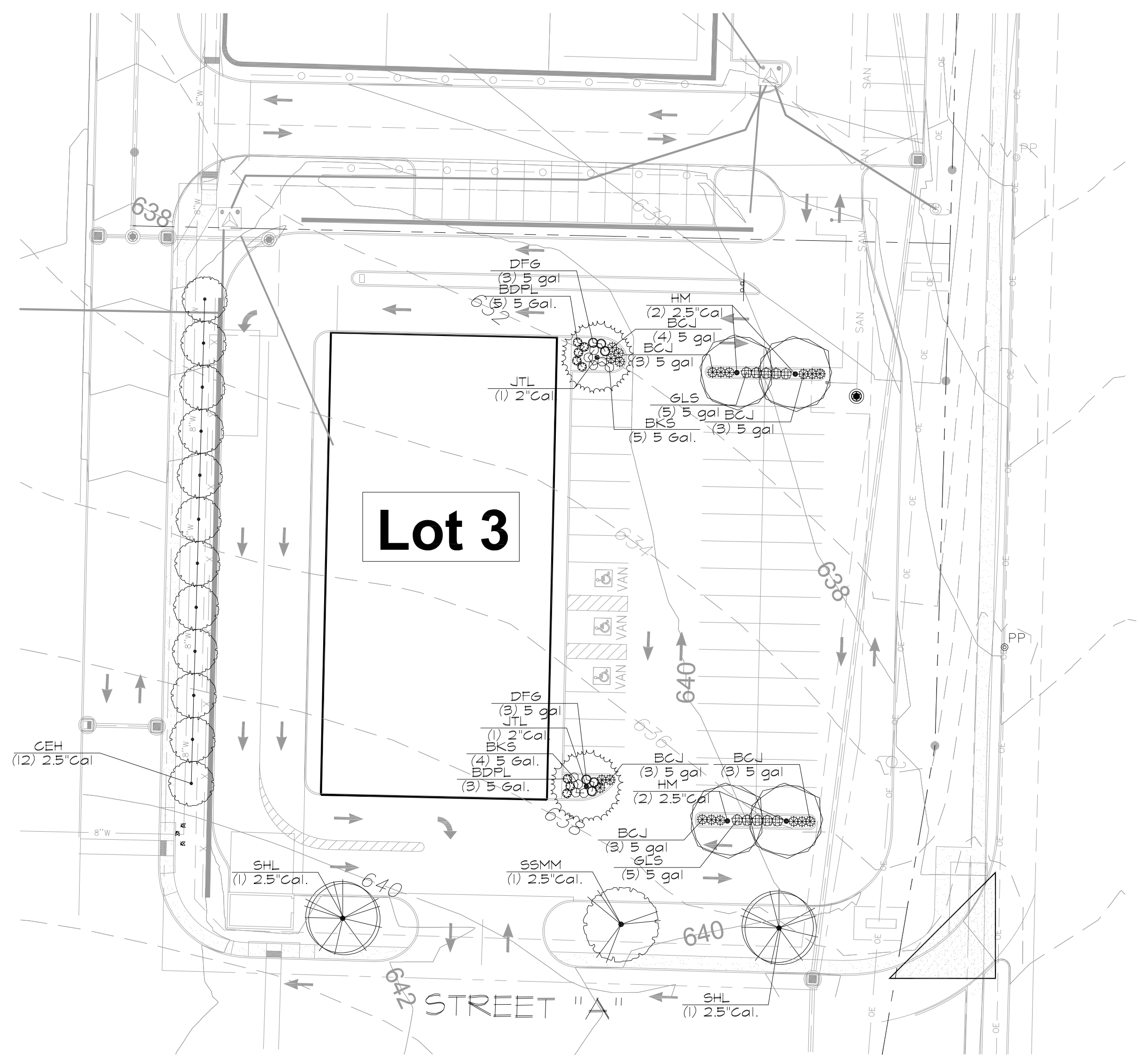
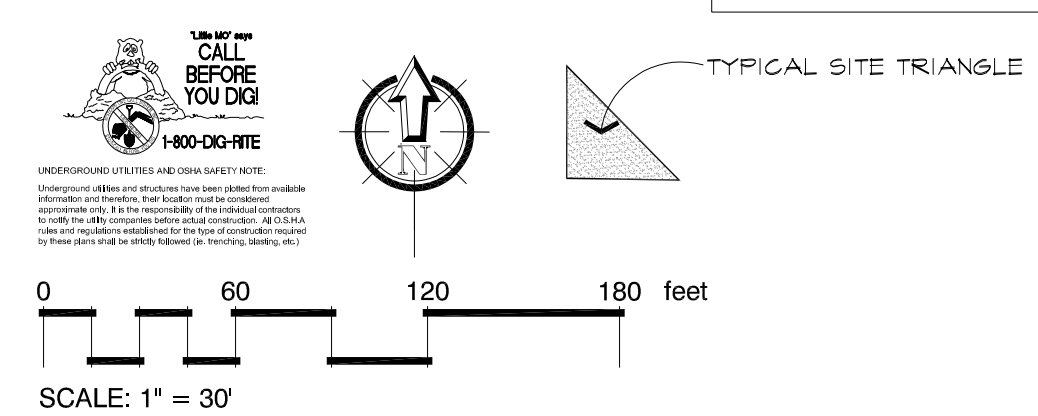
87 Jackson Creek Drive, St. Louis, MO 63114
310 Landscape Architecture Corporation, 620-200-2023



LANDSCAPE-LOT #2

SCALE: 1" = 30'-0"

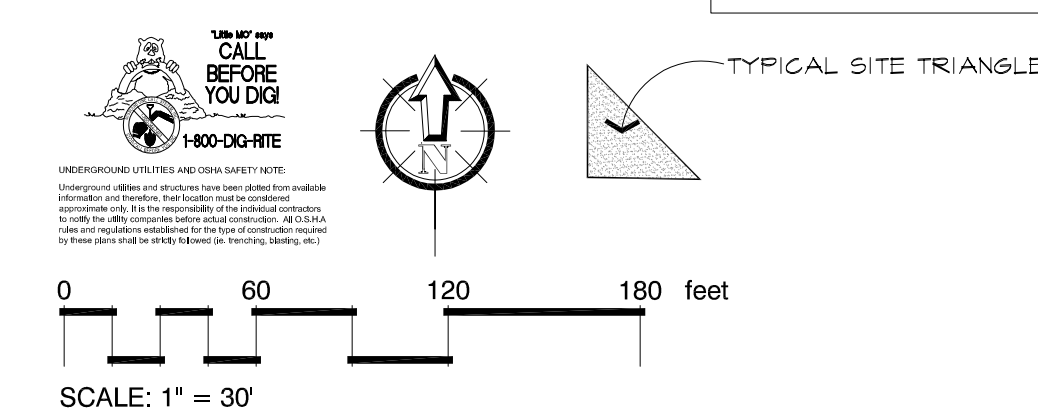
NOTE: SEE SHEET L-1 FOR STREET TREE PLANTING PLAN ADJACENT TO STREETS



LANDSCAPE-LOT #3

SCALE: 1" = 30'-0"

NOTE: SEE SHEET L-1 FOR STREET TREE PLANTING PLAN ADJACENT TO STREETS



PLANT SCHEDULE: LOT 2			
TREES	QTY	COMMON / BOTANICAL NAME	SIZE
CEH	7	COLUMNAR EUROPEAN HORNBEAM / CARPINUS BETULUS 'FASTIGIATA'	2.5" CAL.
WO	1	WILLOW OAK / QUERCUS PHELLOS	2.5" CAL.
SHL	1	'SKYLINE' LOCUST / GLEDITSIA TRIACANTHOS 'SKYLINE'	2.5" CAL.
OGRM	1	'OCTOBER GLORY' MAPLE / ACER RUBRUM 'OCTOBER GLORY'	2.5" CAL.
EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME	SIZE
EMARB	5	EMERALD ARBORVITAE / THUJA OCCIDENTALIS 'EMERALD'	6'-7'
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE
JTL	2	IVORY SILK JAPANESE TREE LILAC / SYRINGA RETICULATA 'IVORY SILK'	2' CAL.
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
ALV	3	ALLEGHANY LEATHERLEAF VIBURNUM / VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'	24"-30"
GSEM	17	GREEN GEM BOXWOOD / BUXUS X 'GREEN GEM'	5 GAL.
HY	7	HICKS YEW / TAXUS MEDIA 'HICKSII'	18"-24"
RCA	5	ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'	5 GAL.
SGJ	42	SEA GREEN JUNIPER / JUNIPERUS CHINENSIS 'SEA GREEN'	5 GAL.
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
CALA	7	FOERSTER'S REED GRASS / CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	5 GAL.
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE
VL	57	VARIEGATED LIRIOPE / LIRIOPE MUSCARI 'VARIEGATA'	1 GAL.

PLANT SCHEDULE: LOT 3			
TREES	QTY	COMMON / BOTANICAL NAME	SIZE
CEH	12	COLUMNAR EUROPEAN HORNBEAM / CARPINUS BETULUS 'FASTIGIATA'	2.5" CAL.
HM	4	HEDGE MAPLE / ACER CAMPESTRE	2.5" CAL.
SSMM	1	MIYABEI MAPLE / ACER MIYABEI 'STATE STREET'	2.5" CAL.
SHL	2	'SKYLINE' LOCUST / GLEDITSIA TRIACANTHOS 'SKYLINE'	2.5" CAL.
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE
JTL	2	IVORY SILK JAPANESE TREE LILAC / SYRINGA RETICULATA 'IVORY SILK'	2' CAL.
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
BDPL	5	BLOOMERANG DWARF PURPLE LILAC / SYRINGA X 'SMNJRFU' TM	5 GAL.
BCJ	19	BLUE CHIP JUNIPER / JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL.
BKS	9	BLUE KAZOO SPIREA / SPIRAEA JAPONICA 'DOUBLE PLAY BLUE KAZOO'	5 GAL.
GLS	10	GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	5 GAL.
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
DFG	6	DWARF FOUNTAIN GRASS / PENNISETUM ALOPECUROIDES 'HAMELN'	5 GAL.

PLANTING PLAN FOR LOTS 2, 3 and 4:

Prairie Encore
BRYAN @ FEISE ROADS DARDENNE PRAIRIE, MISSOURI

DRAWN
R. MARDIS
CHECKED
RAMMEL

DATE
10/3/2022

SCALE
1" = 30'-0"

JOB No.
2022-164

SHEET
L-4

OF FIVE SHEETS

REVISIONS	BY
11/30/2022	RVM
3/8/2023	RVM
11/17/2023	RVM
11/28/2023	RVM

Landscaping TECHNOLOGIES

67 Jackson Creek Drive, St. Louis, MO 63114
 310 Landscaping Technologies Corporation 630-200-0000

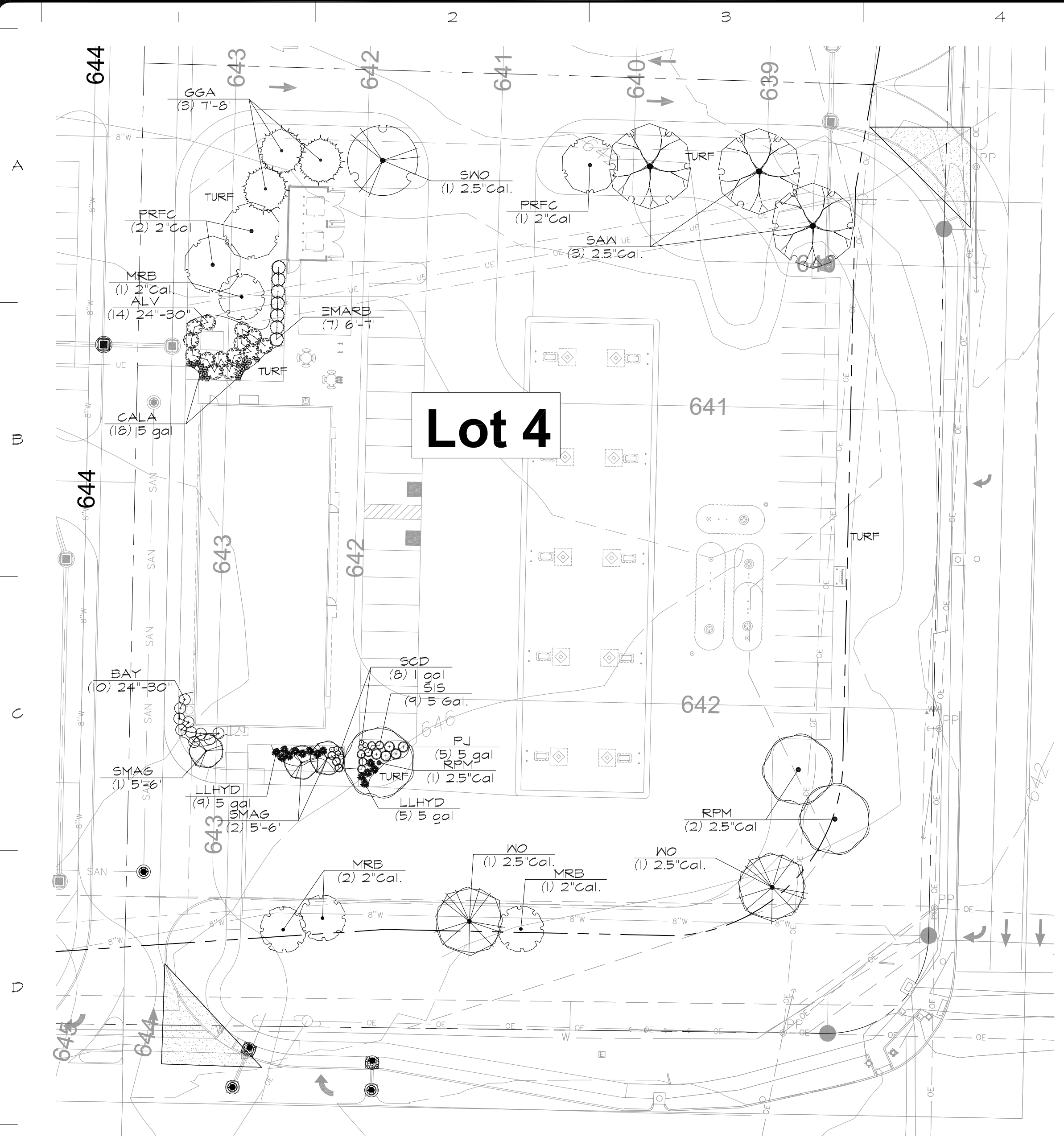
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT #000019
 RANDALL L. MARDIS
 NUMBER 019
 DATE 11/28/2023

PLANTING PLAN FOR LOTS 5, 6 and 7:
Prairie Encore
 BRYAN @ FEISE ROADS DARDENNE PRAIRIE, MISSOURI

DRAWN
R. MARDIS
 CHECKED
RAMMEL
 DATE
10/3/2022
 SCALE
1"=30'-0"
 JOB No.
2022-164
 SHEET
L-5
 OF FIVE SHEETS

PLANT SCHEDULE: LOT 4

TREES	QTY	COMMON / BOTANICAL NAME	SIZE
RPM	3	REDPOINTE MAPLE / ACER RUBRUM 'FRANK JR.'	2.5" CAL.
SAN	3	SAWTOOTH OAK / QUERCUS ACUTISSIMA	2.5" CAL.
SWO	1	SWAMP WHITE OAK / QUERCUS BICOLOR	2.5" CAL.
WO	2	WILLOW OAK / QUERCUS PHELLOS	2.5" CAL.
EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME	SIZE
EMARB	7	EMERALD ARBORVITAE / THUJA OCCIDENTALIS 'EMERALD'	6'-7'
GGA	3	GREEN GIANT ARBORVITAE / THUJA PLICATA 'GREEN GIANT'	7'-8'
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE
MRB	4	MERLOT REDBUD / CERCIS X 'MERLOT'	2" CAL.
PRFC	3	PRAIRIE ROSE CRABAPPLE / MALUS PRAIRIE ROSE'	2" CAL.
SMAG	3	SAUCER MAGNOLIA / MAGNOLIA X SOULANGIANA	5'-6'
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
ALV	14	ALLEGHANY LEATHERLEAF VIBURNUM / VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'	24"-30"
BDPL	7	BLOOMERANG DWARF PURPLE LILAC / SYRINGA X 'SMNJRPU' TM	5 GAL.
BKS	9	BLUE KAZOO SPIREA / SPIRAEA JAPONICA 'DOUBLE PLAY BLUE KAZOO'	5 GAL.
LLHYD	14	LITTLE LIME HYDRANGEA / HYDRANGEA PANICULATA 'LITTLE LIME'	5 GAL.
BAY	10	NORTHERN BAYBERRY / MYRICA PENNSYLVANICA	24"-30"
PJ	5	PROCUMBENS JUNIPER / JUNIPERUS PROCUMBENS 'NANA'	5 GAL.
SIS	9	SCENTLANDIA SWEETSPIRE / ITEA VIRGINICA 'SMNIVDFC' TM	5 GAL.
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
DFG	5	DWARF FOUNTAIN GRASS / PENNISETUM ALOPEGURIODES 'HAMELN'	5 GAL.
CALA	10	FOERSTER'S REED GRASS / CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	5 GAL.
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE
SCD	8	STRAWBERRY CANDY DAYLILY / HEMEROCALLIS X 'STRAWBERRY CANDY' TM	1 GAL.



Lot 4

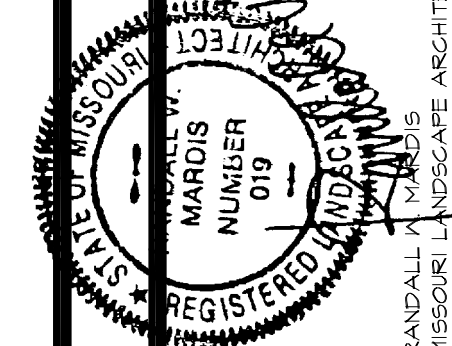
LANDSCAPE-LOT #4

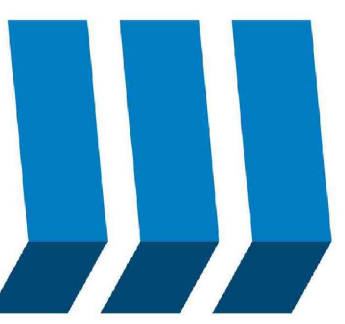
SCALE: 1"=30'-0"

NOTE:
SEE SHEET L-1 FOR
STREET TREE PLANTING
PLAN ADJACENT TO
STREETS

0 60 120 180 feet
SCALE: 1" = 30'

SEE SHEET L-1 FOR STREET TREE PLANTING PLAN ADJACENT TO STREETS

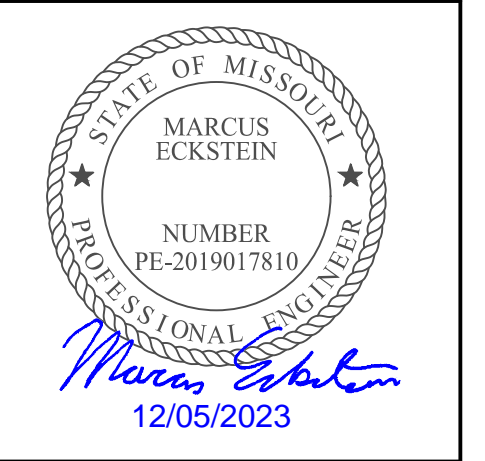




Project No: 22-0113

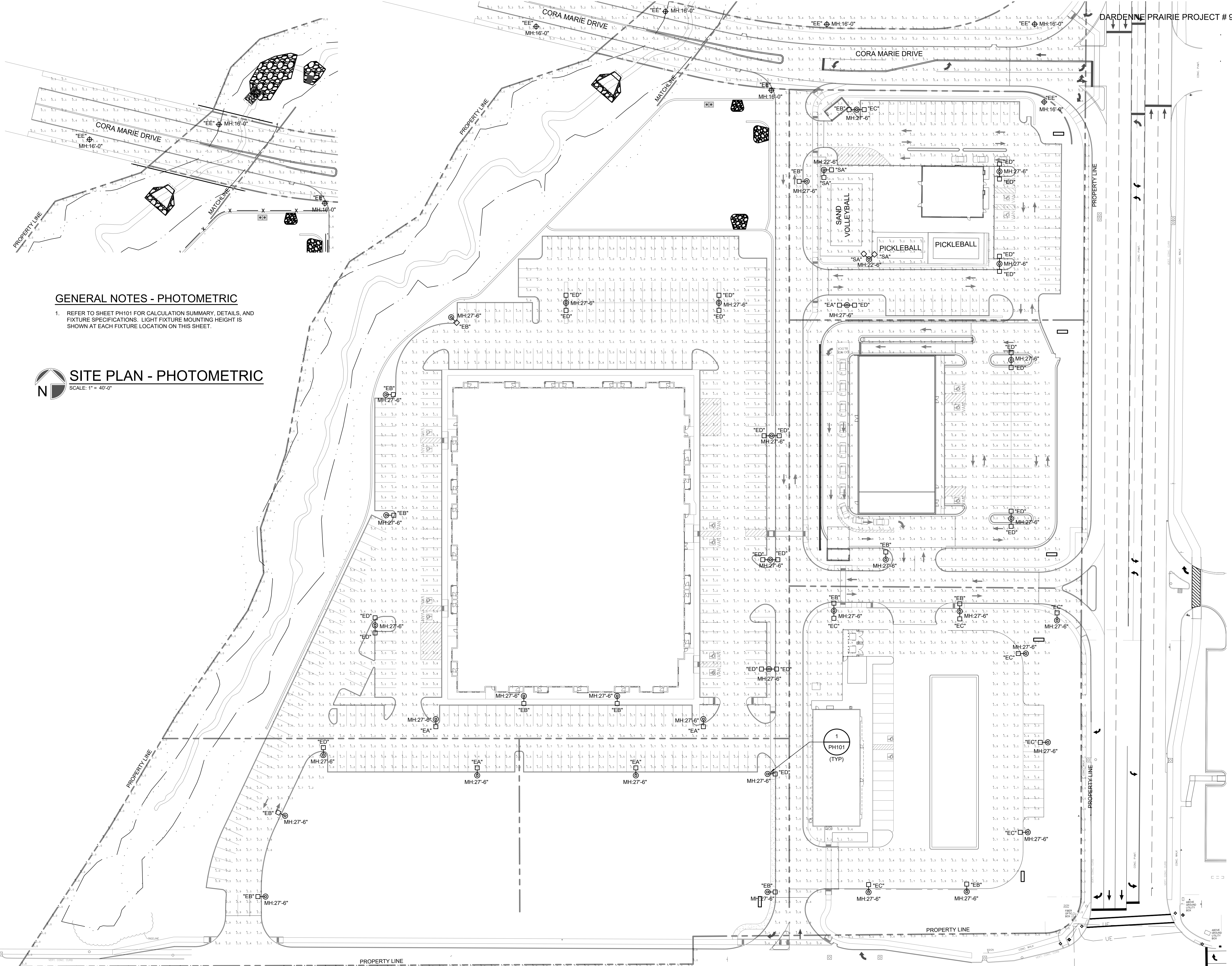
No	Description	Date

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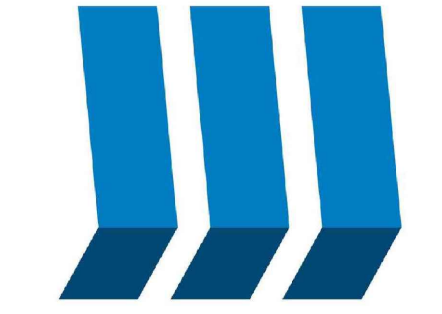
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 SCALE: 1"=40'

PRELIMINARY PLAN - NOT FOR CONSTRUCTION



GENERAL NOTES - PHOTOMETRIC
 1. REFER TO SHEET PH101 FOR CALCULATION SUMMARY, DETAILS, AND FIXTURE SPECIFICATIONS. LIGHT FIXTURE MOUNTING HEIGHT IS SHOWN AT EACH FIXTURE LOCATION ON THIS SHEET.

SITE PLAN - PHOTOMETRIC
 SCALE: 1" = 40'-0"



PRELIMINARY PLAN - NOT FOR CONSTRUCTION

Project No:	22-0113	
No	Description	Date

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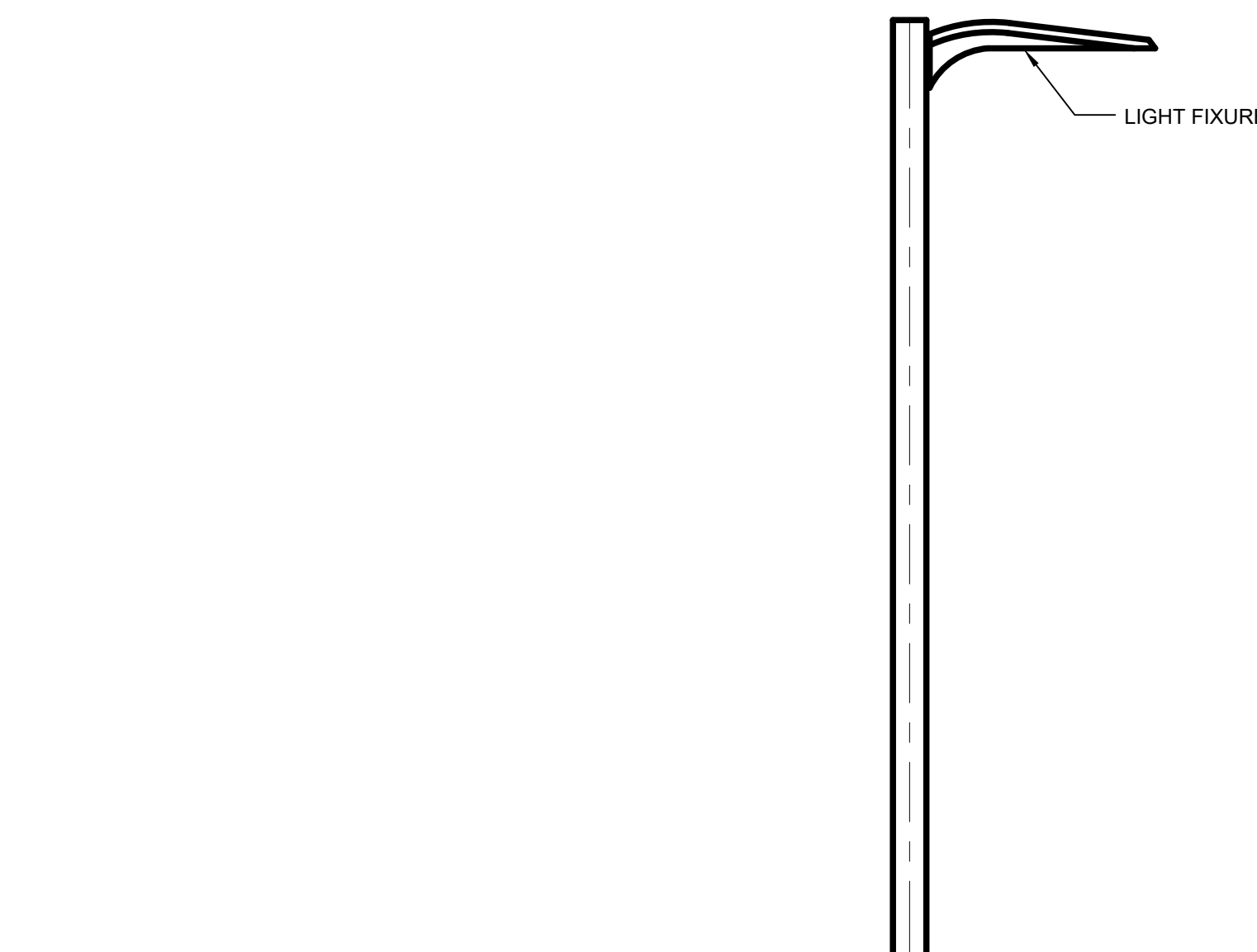


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DATE: 03/07/2023
SCALE: NONE

PHOTOMETRIC SCHEDULES & DETAILS
PH101

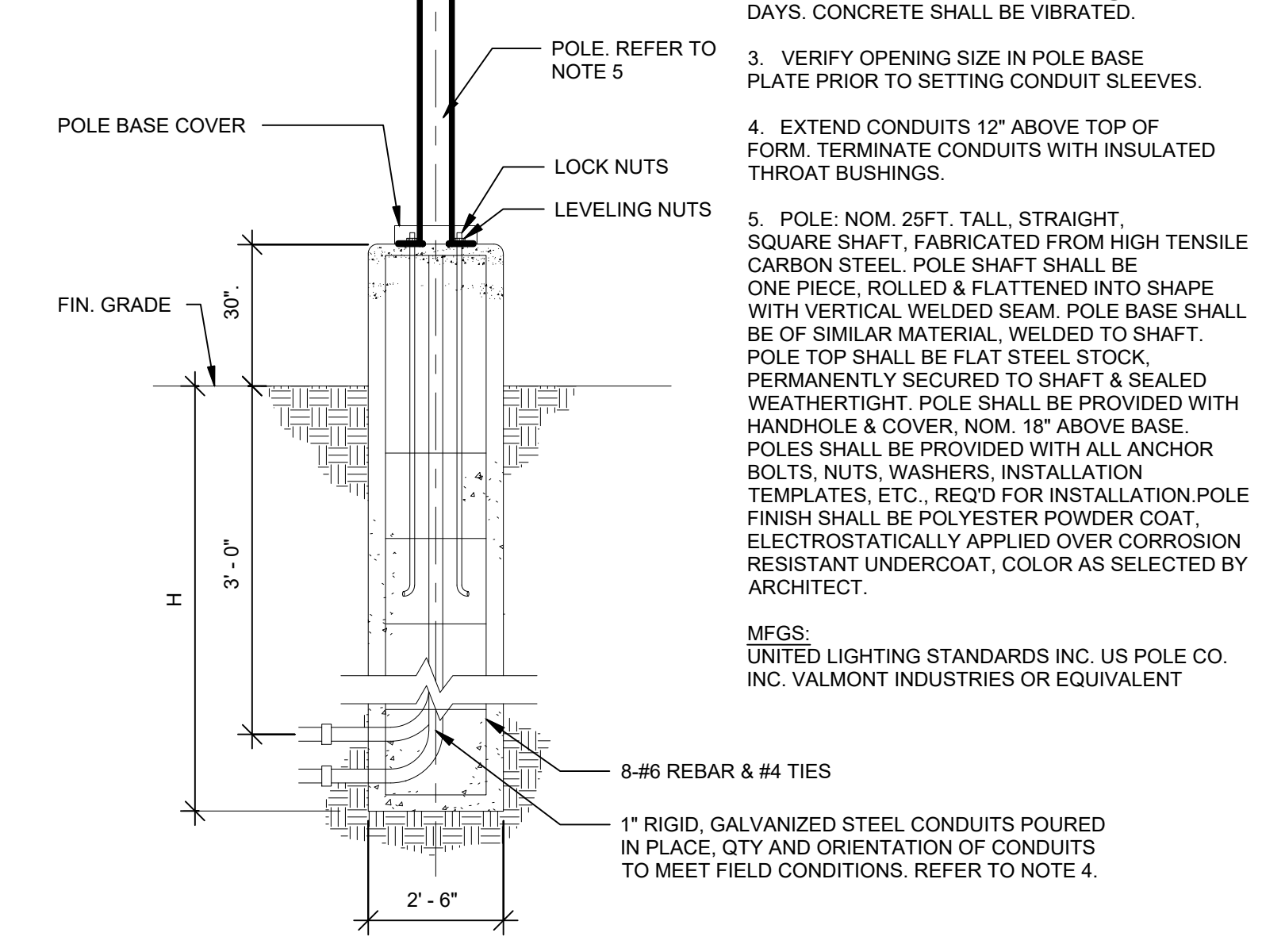
Symbol	Qty	Label	Arrangement	Tag	LLF	Luminaire Lumens	Luminaire Watts
☉	5	MRS-LED-15L-SIL-2-40-70CRI-IH	Single	EA	0.95	11780	111
☉	16	MRS-LED-15L-SIL-3-40-70CRI-IH	Single	EB	0.95	12569	111
☉	8	MRS-LED-15L-SIL-FT-40-70CRI-I	Single	ED	0.95	11467	111
☉	23	MRS-LED-15L-SIL-5W-40-70CRI	Single	EC	0.95	15257	111
☉	6	CITY OF DARDENNE APPROVED FIXTURE	Single	EE	0.95	5227	51
☉	4	NFFLD-C40-D-UNV-66	Single	SA	0.95	17000	128

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING & DRIVE CALCS	Illuminance	Fc	1.98	5.9	0.5	3.96	11.80
PROPERTY LINE CALCS	Illuminance	Fc	0.07	0.5	0.0	N.A.	N.A.
CORA MARIE DRIVE CALCS	Illuminance	Fc	0.36	3.0	0.1	3.60	30.00
VOLLEYBALL & PICKELBALL COURT	Illuminance	Fc	4.55	12.1	2.1	2.17	5.76



POLE HEIGHT (FT.)	FOUNDATION BURIAL DEPTH "H" (FT.)	REINFORCING ROD LENGTH (FT.)
10-15	5	4.5
19	7	6.5
23	7	6.5
25	7	6.5
29	8	7.5
30	8	7.5
35	8.5	8.0
40	9	8.5
45	9.5	9.0
50	10	9.5

- KEYED NOTES:**
- TOP OF CONCRETE FOUNDATION. (TROWEL SMOOTH AND LEVEL)
 - CONCRETE SHALL BE 3000 P.S.I. @ 28 DAYS. CONCRETE SHALL BE VIBRATED.
 - VERIFY OPENING SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.
 - EXTEND CONDUITS 12" ABOVE TOP OF FORM. TERMINATE CONDUITS WITH INSULATED THROAT BUSHINGS.
 - POLE: NOM. 25FT. TALL, STRAIGHT, SQUARE SHAFT, FABRICATED FROM HIGH TENSILE CARBON STEEL. POLE SHAFT SHALL BE ONE PIECE, ROLLED & FLATTENED INTO SHAPE WITH VERTICAL WELDED SEAM. POLE BASE SHALL BE OF SIMILAR MATERIAL, WELDED TO SHAFT. POLE TOP SHALL BE FLAT STEEL STOCK, PERMANENTLY SECURED TO SHAFT & SEALED WEATHERTIGHT. POLE SHALL BE PROVIDED WITH HANDHOLE & COVER, NOM. 18" ABOVE BASE. POLES SHALL BE PROVIDED WITH ALL ANCHOR BOLTS, NUTS, WASHERS, INSTALLATION TEMPLATES, ETC., REQ'D FOR INSTALLATION. POLE FINISH SHALL BE POLYESTER POWDER COAT, ELECTROSTATICALLY APPLIED OVER CORROSION RESISTANT UNDERCOAT, COLOR AS SELECTED BY ARCHITECT.



1 LIGHT STANDARD DETAIL
NO SCALE

Catalog #: MRS-15L Project: THE LANDING OF OFALLON
Prepared By: ENGENUITY Date: 04/28/2022 Type: SA, SB, SC

Mirada Small Area (MRS) Outdoor LED Area Light

IP66 IK08

OVERVIEW

Lumen Package	6,000 - 24,000
Wattage Range	41 - 196
Efficiency Range (LPW)	112 - 151
Fixture Weight lbs (kg)	20 (9.5)

QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

FEATURES & SPECIFICATIONS

Construction

- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L70 Calculated Life: >60k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F).
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsiinc.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- IK08 rated luminaire per IEC 66262 mechanical impact code.
- DesignLights Consortium® Listings in progress.

Specifications and dimensions subject to change without notice.

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Mirada Small Area Light (MRS)
Back to Quick Links

ORDERING GUIDE

TYPICAL ORDER EXAMPLE: **MRS LED 18L SIL FT UNV DIM 40 70CRI ALBCS1 BLK IH**

Luminaire Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation	Voltage	Driver
MRS - Mirada Small Area Light	LED	ML - 6,000 lms RL - 8,000 lms TL - 12,000 lms ML - 15,000 lms TL - 18,000 lms ZL - 21,000 lms 24L - 24,000 lms Custom Lumen Package	SIL - Silicone	2 - Type 2 3 - Type 3 SW - Type 5 Wide FT - Forward Throw	(blank) - standard L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)

Order Entry	Color Rendering	Controls (Choose One)	Finish	Options
58 - 5300 CCT	70CRI - 70 CRI	(blank) - None	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	(blank) - None IH - Integral Househood Shield† IL - Integral Louver (Sharp Spill Light Cutoff)†

Wireless Controls System
ALSC - AiLink System Control System
ALSCS2 - AiLink Symyx Control System with 12-20' Mt Motion Sensor
ALSCS1 - AiLink Symyx Control System with 20-40' Mt Motion Sensor
ALBCS1 - AiLink Blue Wireless Motion & Photo Sensor Controller (8-24' Mt)
ALBCS2 - AiLink Blue Wireless Motion & Photo Sensor Controller (25-40' Mt)

Smart-Along Controls
ET - 0-10v Dimming leads extended to housing exterior
CRP - 7 Pin Control Receivables ANSI C136.41
MSST1 - Integral Bluetooth™ Motion and Photo Sensor (8-24' Mt)
MSST2 - Integral Bluetooth™ Motion and Photo Sensor (25-40' Mt)

Accessory Ordering Information*

Description	Order Number	Description	Order Number*
Turret Lock PhotoCell (120V) for use with CRP	122514	Universal Mounting Bracket	684616CLR
Turret Lock PhotoCell (208-277V) for use with CRP	122515	Adjustable Slip Fitter (2" - 2 3/8" Tenon)	688138CLR
Turret Lock PhotoCell (347V) for use with CRP	122516	Horizontal Slip Fitter (2" - 2 3/8" Tenon)	652761CLR
Turret Lock PhotoCell (480V) for use with CRP	122518	Quick Mount Pole Bracket (Square Pole)	651073CLR
AiLink 5 Pin Turret Lock Controller	661420	Quick Mount Pole Bracket (4-5" Round Pole)	659903CLR
AiLink 5 Pin Turret Lock Controller	661410	15 Tilt Quick Mount Pole Bracket (Square Pole)	658003CLR
Pole-Mounted Occupancy Sensor (24V)	663294CLR†	15 Tilt Quick Mount Pole Bracket (4-5" Round Pole)	659905CLR
Shorting Cap for use with CRP	149328	Wall Mount Bracket	382132CLR

Fusing Options*		Shielding Options	
Description	Order Number	Description	Order Number
Single Fusing (120V)	75345	Mirada Small	75345
Single Fusing (277V)	75346	Mirada Medium	75346
Double Fusing (208V, 240V)	75162	Mirada Large	75348
Double Fusing (480V)	75162	Zone Medium	75162
Double Fusing (347V)	75162	Zone Large	75162
		Zone Medium	75162

FOOTNOTES:

- Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- Not available on "Type SW" distribution.
- Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
- MSST is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
- Accessories are shipped separately and field installed.
- "CLR" denotes finish. See Finish options.
- Fusing must be located in hand hole of pole. See Fusing Accessory Guide for compatibility.

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Lumark

DESCRIPTION

The Night Falcon™ LED floodlight luminaire combines high-efficiency optics, superior thermal management and energy efficiency in a cost-effective solution. The compact, robust design incorporates a separate driver compartment for maximum heat dissipation to insure longevity of both the fixture and the LEDs. The Night Falcon luminaire uses precision engineered optics delivering superior uniformity and excellent illumination to the targeted application. Typical applications include area lighting for security, building facade lighting, accent and signage lighting in both commercial and industrial applications. The Night Falcon luminaire is UL/cUL listed for wet locations and is IP66 rated.

SPECIFICATION FEATURES

Construction

Heavy-duty, die-cast aluminum housing, driver compartment and driver housing door. A separate driver compartment and external fins provide optimal thermal management that result in longer LED and driver life. The housing, driver compartment and optical chamber are IP66 rated. Access to the driver for maintenance is achieved with a removable driver door using pan head screws. A one-piece silicone gasket seals the door to the fixture housing. The fixture is 3G vibration rated (ANSI C136.31) to ensure durability in area and site lighting applications. Suitable for mounting within 4" (1.2m) of the ground.

Optics

The LED chamber incorporates a vacuum metallized reflector that provides high-efficiency illumination. Optics are precisely designed to shape the the NEMA 6H x 6V wide distribution and the 3H x 3V spot distribution, maximizing efficiency and application spacing. Clear glass tempered lens with full circumference form-in-place silicone gasket protects the optics from damage. Offered standard in 4000K (+/- 275K CCT and minimum 70 CRI), Optional 5700K, 5000K and 3000K CCT and minimum 70 CRI are available.

Electrical

LED driver is mounted to the removable die-cast aluminum door for optimal heat sinking and ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Integral 8kV surge is standard. 10kV/10kA common- and differential- mode surge protection available as an option. 0-10V dimming driver is available to accommodate controls capability such as dimming and occupancy management that result in longer LED and driver life. The housing, driver compartment and optical chamber are IP66 rated. Access to the driver for maintenance is achieved with a removable driver door using pan head screws. A one-piece silicone gasket seals the door to the fixture housing. The fixture is 3G vibration rated (ANSI C136.31) to ensure durability in area and site lighting applications. Suitable for mounting within 4" (1.2m) of the ground.

Mounting

Mounting options include an integral die-cast aluminum slipfitter that is preset to a tilt of 45°. The knuckle base is supplied with a tooth lock adjustment that can be adjusted in 5° increments to provide flexibility in aiming the fixture from a variety of surfaces. Visual 15° adjustment indicators on the knuckle allow for 180° field rotation of the floodlight assembly. The slipfitter fits standard 2.38" - 3" O.D. tenon. The trunion mounting includes a 3/16" polyester powder coated galvanized steel trunion with a 1/8" SOW cord. The trunion mount uses an interlocking slide adjustment that is locked into place with a set screw.

Finish

Housing and cast parts finished in five-stage super TIGC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is carbon bronze. Additional colors available in summit white, white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representative at Eaton for a complete selection of standard colors.

Warranty

Five-year warranty.

Dimensions

Slipfitter Mount

Trunion Mount

Yoke Mount

ENERGY DATA

Electronic LED Driver
≥ 0.9 Power Factor
≤ 20% Total Harmonic Distortion
120V 60Hz, 347V 60Hz and 480V 60Hz
30°C Minimum Ambient Temperature Rating
40°C Maximum Ambient Temperature Rating

EPA Effective Projected Area (Eq. P1.1-125)

SHIPPING DATA

Approximate Net Weight:
20 lbs. (9.09 kg.)

NFFLD NIGHT FALCON

TS060607EN
November 18, 2021 7:05 PM

POWER AND LUMENS

CIS LED	6x6				3x3			
	NFFLD-C25	NFFLD-C25-7050	NFFLD-C25-7050	NFFLD-C25-7060	NFFLD-C25	NFFLD-C25-7050	NFFLD-C25-7050	NFFLD-C25-7060
Delivered Lumens	10,530	10,122	10,383	10,217	10,272	8,874	10,128	9,967
CCT (Kelvin)	4000K	3000K	5000K	5700K	4000K	3000K	5000K	5700K
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70
Power Consumption (Watts)	89W	89W	89W	89W	93W	93W	93W	93W

CIS LED	NFFLD-C40				NFFLD-C40-7050				NFFLD-C40-7060			
	NFFLD-C40	NFFLD-C40-7050	NFFLD-C40-7050	NFFLD-C40-7060	NFFLD-C40	NFFLD-C40-7050	NFFLD-C40-7050	NFFLD-C40-7060	NFFLD-C40	NFFLD-C40-7050	NFFLD-C40-7050	NFFLD-C40-7060
Delivered Lumens	15,333	12,268	16,686	16,421	14,113	13,887	13,816	13,694	14,900	14,900	14,900	14,900
CCT (Kelvin)	4000K	3000K	5000K	5700K	4000K	3000K	5000K	5700K	4000K	3000K	5000K	5700K
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	128W	128W	128W	128W	143W	143W	143W	143W	143W	143W	143W	143W

CIS LED	NFFLD-C70				NFFLD-C70-7050				NFFLD-C70-7060			
	NFFLD-C70	NFFLD-C70-7050	NFFLD-C70-7050	NFFLD-C70-7060	NFFLD-C70	NFFLD-C70-7050	NFFLD-C70-7050	NFFLD-C70-7060	NFFLD-C70	NFFLD-C70-7050	NFFLD-C70-7050	NFFLD-C70-7060
Delivered Lumens	23,797	23,157	24,037	24,205	20,779	20,779	20,779	20,779	23,797	23,797	23,797	23,797
CCT (Kelvin)	4000K	3000K	5000K	5700K	4000K	3000K	5000K	5700K	4000K	3000K	5000K	5700K
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	184W	184W	184W	184W	184W	184W	184W	184W	184W	184W	184W	184W

CURRENT DRAW

Voltage (V)	Model Series							
	6x6				3x3			
	NFFLD-C25	NFFLD-C40	NFFLD-C70	NFFLD-C70-7050	NFFLD-C25	NFFLD-C40	NFFLD-C70	NFFLD-C70-7050
120V	0.38	1.09	1.29	1.69	0.79	1.09	1.09	1.09
277V	0.34	0.66	0.56	0.67	0.34	0.67	0.51	0.51
347V	0.25	0.37	0.41	0.53	0.27	0.37	0.41	0.41
480V	0.19	0.27	0.34	0.38	0.27	0.37	0.34	0.34

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.03
15°C	1.02
25°C	1.00
40°C	0.97
50°C	0.96

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 84.55%	> 388,000
40°C	> 93.98%	> 327,000
50°C	-	-

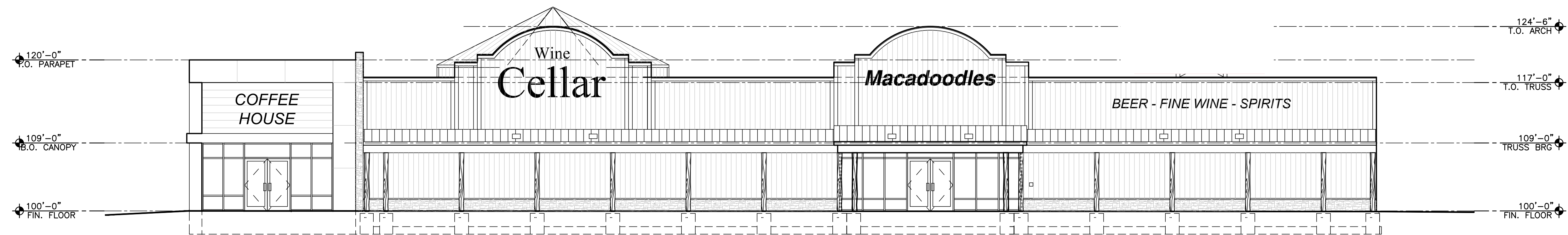
SH x 3V (Optional)

Ambient Temperature	Lumen Multiplier
25°C	> 82.98%
40°C	> 91.81%

COOPER Lighting Solutions
TS060607EN
November 18, 2021 7:05 PM







1 EAST ELEVATION
1/8"=1'-0"

PROJECT NO. DA0865
DRAWN BY: D A STAFF

ISSUE DATE: 11/01/2023
BID SET ISSUE DATE: -/-/-
PERMIT SET ISSUE DATE: -/-/-

REV. A -/-/-
REV. B -/-/-
REV. C -/-/-

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